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BUILDING INFORMATION	
GOVERNING CODES:	APPROVAL OF THIS PROJECT SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA GREEN BUILDING CODE (CGBC) AND TOWN OF PARADISE MUNICIPAL CODE.
SITE ADDRESS:	
GOVERNING AGENCY:	TOWN OF PARADISE, CA.
OCCUPANCY GROUP:	R3
STORIES:	1
TYPE OF CONSTRUCTION:	VB

ZONING INFORMATION		DIRECTORY		VICINITY MAP	
CONTACT TOWN OF PARADISE FOR THE INFORMATION BELOW EMAIL: PLANNING@TOWNOFPARADISE.COM OR PHONE: (530)872-6291 x411		SITE PLAN & TITLE SHEET INFORMATION PREPARED BY:			
ZONING :		COMPANY			
LOT SIZE :		CONTACT PERSON			
EXISTING HABITABLE SQ. FT. :		ADDRESS			
FLOOR AREA OF GARAGE:		PHONE			
EXISTING LOT COVERAGE:		EMAIL			
ALLOWABLE LOT COVERAGE :		PROPERTY OWNER:			
PROPOSED LOT COVERAGE :		NAME			
LOT SLOPE :		ADDRESS			
ADU SETBACKS FROM PROPERTY LINE		PHONE			
ALLOWED :	PROPOSED :	EMAIL			
FRONT-	FRONT-	BUILDING DEPARTMENT:			
REAR-	REAR-	COMMUNITY DEVELOPMENT DEPARTMENT, BUILDING RESILIENCY CENTER			
SIDE-	SIDE-	6295 SKYWAY			
STREET SIDE-	STREET SIDE-	PARADISE, CA 95969			
		P. (530)872-6291			
ADU SETBACKS FROM MAIN RESIDENCE		<b>PROJECT DESCRIPTION</b>			
ALLOWED : 10' MINIMUM	PROPOSED :	NEW CONSTRUCTION OF A ONE STORY, 1 BEDROOM, 1 BATH, DETACHED 499 S.F. ACCESSORY DWELLING UNIT WITH PORCH AREA USED BELOW:			
		PORCH: 145 S.F.			
OFF STREET PARKING :		<b>LEGAL DESCRIPTION</b>		<b>APN</b>	
REQUIRED:	PROVIDED:				

APPLICANT AGREEMENT	
<p>APPLICANT AGREES TO PROVIDE ALL NECESSARY INFORMATION REQUIRED TO COMPLETE THESE CONSTRUCTION DOCUMENTS. MODIFICATIONS TO THE PERMIT READY DOCUMENTS PROVIDED BY DESIGN PATH STUDIO ARE TO BE DISCLOSED BY THE APPLICANT AND APPROVED BY THE AUTHORITY HAVING JURISDICTION. ANY MODIFICATIONS TO THESE CONSTRUCTION DOCUMENTS REQUIRES EACH SHEET TO BE SIGNED BY THE PERSON WHO MADE THE CHANGES. ANY ADDITIONAL SHEETS INCORPORATED INTO THESE DOCUMENTS ALSO REQUIRE A SIGNATURE BY THE PERSON WHO PREPARED THE INFORMATION. THE FOUNDATION DESIGN FOR THESE PERMIT READY CONSTRUCTION DOCUMENTS ASSUMES STANDARD SOILS CONDITIONS AND LEVEL TOPOGRAPHY. IF SITE SPECIFIC CONDITIONS REQUIRE A FOUNDATION DESIGN BEYOND WHAT IS PROVIDED IN THESE DOCUMENTS THEN THE APPLICANT IS TO PROVIDE A NEW FOUNDATION DESIGN WHICH COMPLES WITH THE RECOMMENDATIONS OF THE GEOGRAPHICAL ENGINEER'S REPORT.</p> <p>BY SIGNING BELOW THE APPLICANT AGREES TO THE STATEMENT ABOVE AND WILL COMPLY WITH ALL LOCAL CODE REQUIREMENTS.</p> <p>SIGNATURE: _____ DATE: _____</p>	
<b>WILDLAND URBAN INTERFACE FIRE AREA</b>	
<p>THE TOWN OF PARADISE IS LOCATED WITHIN THE WILDLAND-URBAN INTERFACE AREA (AS DEFINED BY 2022 CRC R377.2). ALL CONSTRUCTION IS TO COMPLY WITH THE 2022 CRC SECTION R337. REFER TO WUI CHECKLIST ON SHEET G0.4 FOR FURTHER INFORMATION.</p> <p>IF APPLICANT DEVIATES FROM PROVIDED CHECKLIST ON G0.4, APPLICANT MUST PROVIDE A COMPLETE CHECKLIST AND RECEIVE APPROVAL FROM BUILDING DEPARTMENT.</p>	
<b>HERS NOTES</b>	
<ol style="list-style-type: none"> <li>PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(a)3, 10-103(b)1.A - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF1R FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE RENEWED AND APPROVED.</li> <li>PROPERLY COMPLETED &amp; ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(a)3, 10-103(b)1.A.</li> <li>CF1R REGISTRATION FORMS ARE LOCATED ON THE PLANS. IF REGISTRATION IS REQUIRED, A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE.</li> <li>HERS TESTS REQUIRED FOR THIS PROJECT ARE: QUALITY INSULATION INSTALLATION (QII), INDOOR AIR QUALITY VENTILATION, KITCHEN RANGE HOOD, VERIFIED REFRIGERANT CHARGE, AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.7), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 FT2 (SC3.4.5), DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8) KITCHEN RANGE HOOD CFM VERIFICATION - 160 cfm FOR DWELLING UNITS &lt;750 SQ. FT. IAQ MECHANICAL VENTILATION - See new ducting requirements Table 150.0-H</li> <li>FOR IAQ FAN - 30,30,42,44 CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN. PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 SONE (3 SONES MAX FOR AN INTERMITTENT FAN). THIS FAN TO PROVIDE A WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.</li> <li>SOLAR IS REQUIRED: Solar exemption cut off is 1.8 kWdc - this is an owner choice. Studio - SOLAR EXEMPTION TAKEN 1 Bedroom A - 1.68 kWdc IS THE MIN PV REQUIRED TO MEET THE STANDARD DESIGN. 1 Bedroom B - SOLAR EXEMPTION TAKEN 2 Bedroom - SOLAR EXEMPTION TAKEN</li> <li>SPECIAL FEATURES: VCHP required items listed above, exposed slab flooring, and NEEA rated heat pump water heater; specific brand/model or eq.</li> <li>NEW 2022 ELECTRIC READY REQUIREMENTS: IF HEAT PUMP WATER HEATER IS NOT INSTALLED, PROVIDE SPACE FOR THIS TYPE OF WATER HEATER. A 240V OUTLET IS REQUIRED FOR WATER HEATER, DRYER, AUTO CHARGING, AND STOVE INCLUDING BREAKER SPACE, ENERGY STORAGE SYSTEM FOR A FUTURE BATTERY SYSTEM (BATTERY READY) IS REQUIRED IF FULL SYSTEM IS NOT INSTALLED.</li> </ol>	

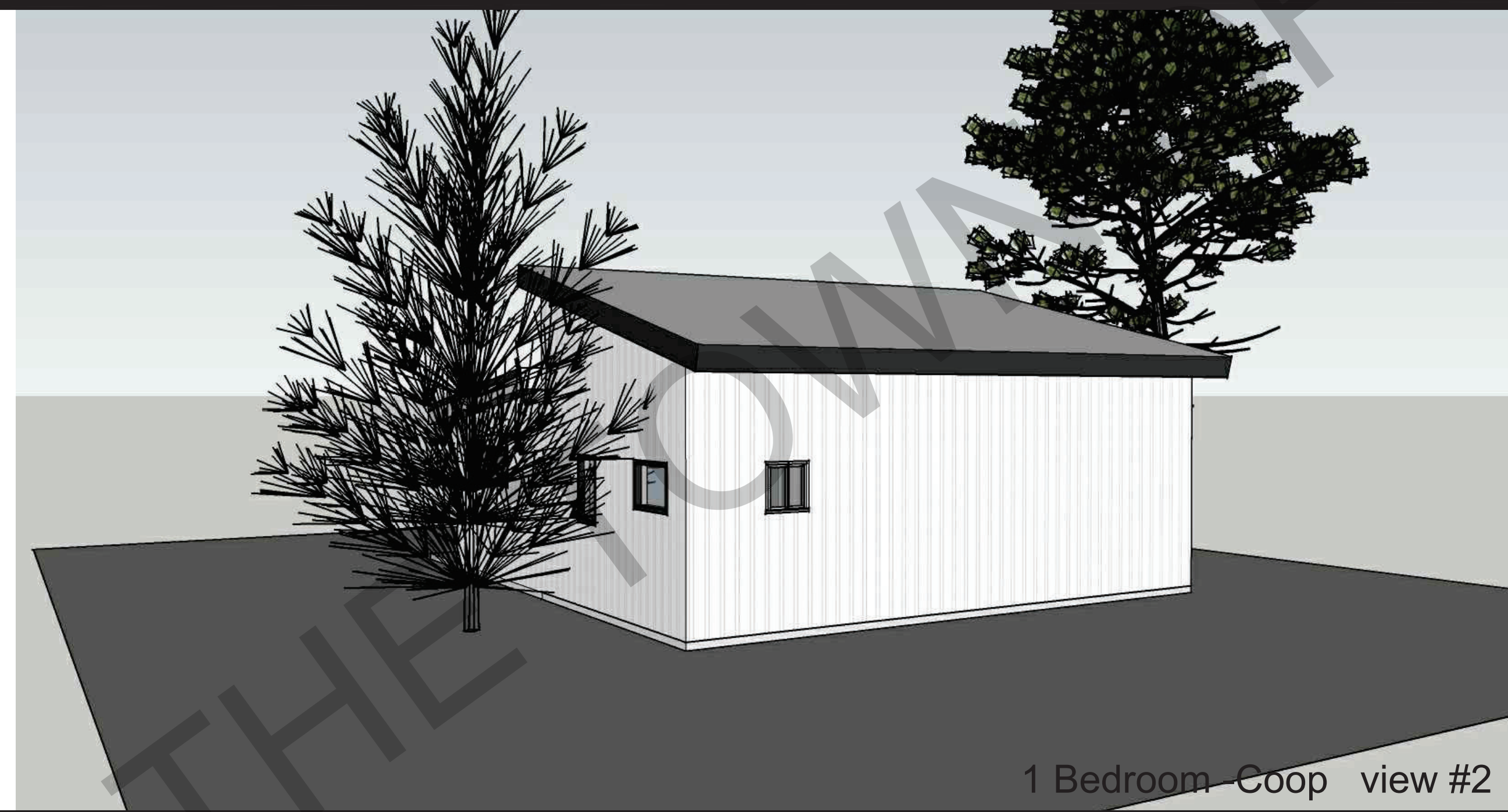
**REQUIRED SUPPLEMENTAL INFORMATION - TO BE COMPLETED BY OWNER**

<p><b>additional plan information provided by applicant:</b></p> <p><input checked="" type="checkbox"/> COMPLETED</p> <p><input type="checkbox"/> TITLE SHEET (T1.1) INFORMATION FILLED OUT</p> <p><input type="checkbox"/> SITE PLAN SHEET (AS.2) PROVIDED IN PLAN SET FOR TOWN REVIEW</p> <p><input type="checkbox"/> UPDATED TITLE 24 ENERGY CALCULATION REPORT WITH CORRECT NAME, ADDRESS, AND EXACT ORIENTATION FOR SITE SPECIFIC CONDITIONS. OWNER MAY CONTACT THE ENTITY WHO PREPARED THE ORIGINAL REPORT (SHOWN ON T24.1) TO OBTAIN UPDATES TO THE REPORT.</p> <p><input type="checkbox"/> CONSTRUCTION AND DEMOLITION FORM</p> <p><input type="checkbox"/> HOLD HARMLESS AGREEMENT</p>	<p><b>deferred submittals - separate permit to be obtained by applicant:</b></p> <p><input checked="" type="checkbox"/> TO BE COMPLETED</p> <p><input type="checkbox"/> FIRE SPRINKLERS (WHEN REQUIRED)</p> <p><input type="checkbox"/> PHOTOVOLTAIC SYSTEM - THE PV SYSTEM MUST BE INSTALLED, OPERATIONAL AND FINAL PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL FOR THE ADU. IF THERE IS AN EXISTING PHOTOVOLTAIC SYSTEM OF SUFFICIENT SIZE ON THE MAIN HOUSE TO ACCOMMODATE THE NEW ADU THEN HOMEOWNER IS TO PROVIDE A REPORT STATING THE EXISTING SIZE OF THE PV PANEL.</p>	<p><b>fire sprinkler information:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p><input type="checkbox"/> EXISTING RESIDENCE CURRENTLY HAS FIRE SPRINKLERS (NFPA 13D)</p> <p><input type="checkbox"/> EXISTING RESIDENCE <u>DOES NOT</u> CURRENTLY HAVE FIRE SPRINKLERS</p> <p>NEW ADU IS REQUIRED TO HAVE FIRE SPRINKLERS IF THE EXISTING RESIDENCE HAS FIRE SPRINKLERS. FIRE DEPARTMENT TO DETERMINE IF FIRE SPRINKLERS ARE OTHERWISE REQUIRED. SEE NOTES ON G0.4</p>	<p><b>septic waste water information:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p><input type="checkbox"/> ADU TO HAVE NEW SEPTIC SYSTEM (SHOW ON SITE PLAN)</p> <p><input type="checkbox"/> ADU TO CONNECT TO EXISTING SEPTIC SYSTEM (SHOW ON SITE PLAN)</p> <p><input type="checkbox"/> SEPTIC SYSTEM - REQUIRES TOWN OF PARADISE APPROVAL</p> <p>DISTANCE TO CONNECTION _____</p>	<p><b>electrical service information:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p><input type="checkbox"/> UPGRADED SERVICE</p> <p><input type="checkbox"/> EXISTING SERVICE TO REMAIN</p> <p><input type="checkbox"/> NEW SERVICE</p> <p>SIZE OF EXISTING SERVICE _____ SIZE OF NEW SERVICE _____</p>	<p><b>gas service information:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p><input type="checkbox"/> UPGRADED SERVICE</p> <p><input type="checkbox"/> EXISTING SERVICE TO REMAIN</p> <p><input type="checkbox"/> NEW SERVICE</p> <p>SIZE OF EXISTING SERVICE _____ SIZE OF NEW SERVICE _____</p>	<p><b>GAS PIPE ISOMETRIC DIAGRAM</b></p> <p>TO BE UPDATED FOR SITE SPECIFIC CONDITIONS</p> <p>NOTE: EXISTING GAS SERVICE AND METER SIZE TO BE PROVIDED BY HOMEOWNER AND UPDATED ISOMETRIC LAYOUT PROVIDED BY DESIGNER OF CHOICE. CFH &amp; BTUS PROVIDED AS SUGGESTED LOADS. OWNER/DESIGNER IS TO PROVIDE ACCURATE INFORMATION.</p> <p>SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO THE TOWN OF PARADISE BUILDING INSPECTOR</p>																													
<p><b>exterior style selection:</b></p> <p><input checked="" type="checkbox"/> SELECTION - SEE SHEET T1.2 FOR EXTERIOR RENDERING</p> <p><input type="checkbox"/> COOP</p>	<p><b>roof material:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p>REFER TO SPECIFICATIONS ON G0.5. IF APPLICANT DEVIATES FROM SPECIFICATIONS ON G0.5, A WUI COMPLIANT OPTION IS TO BE PROVIDED AND APPROVED BY TOWN OF PARADISE</p> <p><input type="checkbox"/> WUI APPROVED CLASS A MATERIAL PER PLAN (SEE SHEET G0.5)</p> <p><input type="checkbox"/> ALTERNATE WUI APPROVED CLASS A MATERIAL (SPECIFICATION PROVIDED BY APPLICANT) ROOF SPECIFICATION: _____</p>	<p><b>required w.u.i. details:</b></p> <p>REFER TO W.U.I. CONFORMANCE CHECKLIST ON SHEET G0.4 IN ADDITION TO THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>ROOF DETAILS: SHEET AS.2 &amp; SPECIFICATIONS ON SHEET G0.5</li> <li>VENTS: ROOF PLANS &amp; SPECIFICATIONS ON SHEET G0.5</li> <li>EXTERIOR WALL COVERING: EXTERIOR ELEVATIONS, SHEET AS.1 &amp; SPECS ON SHEET G0.5</li> <li>EXTERIOR WINDOWS: SHEET A0.1 WINDOW NOTES #11 &amp; #13</li> <li>EXTERIOR DOORS: SHEET A0.1 DOOR NOTES #9 &amp; #10</li> </ul>	<p><b>gas calculations:</b></p> <table border="1"> <thead> <tr> <th>APPLIANCE</th> <th>QTY</th> <th>CFH</th> <th>TOTAL CFH</th> </tr> </thead> <tbody> <tr> <td>(NEW) DRYER</td> <td>1</td> <td>35</td> <td>35</td> </tr> <tr> <td>(NEW) OVEN &amp; RANGE</td> <td>1</td> <td>65</td> <td>65</td> </tr> <tr> <td>TOTAL GAS LOAD FOR HOUSEHOLD APPLIANCES =</td> <td></td> <td>299,000 BTU/h</td> <td>299 CFH</td> </tr> </tbody> </table>	APPLIANCE	QTY	CFH	TOTAL CFH	(NEW) DRYER	1	35	35	(NEW) OVEN & RANGE	1	65	65	TOTAL GAS LOAD FOR HOUSEHOLD APPLIANCES =		299,000 BTU/h	299 CFH	<p><b>exterior wall material:</b></p> <p><input checked="" type="checkbox"/> SELECTION</p> <p>EXTERIOR WALL COLOR OF PRINCIPAL DWELLING UNIT (EXTERIOR WALL COLOR OF ADU IS TO MATCH PRINCIPAL DWELLING UNIT)</p> <p><input type="checkbox"/> FIBER CEMENT - SIDING / COLOR PER WUI SPECIFICATIONS ON G0.5</p> <p><input type="checkbox"/> OTHER _____</p> <p>IF DIFFERENT THAN SPECIFICATION ON G0.5 APPLICANT IS TO PROVIDE WUI COMPLIANT SPECIFICATIONS</p>	<p><b>PIPE SIZE SCHEDULE 40 METALLIC PIPE 125' LENGTH PER TABLE 1216.2(1) CALIFORNIA PLUMBING CODE</b></p> <table border="1"> <thead> <tr> <th>SIZE</th> <th>1/2"</th> <th>3/4"</th> <th>1"</th> <th>1 1/4"</th> <th>1 1/2"</th> <th>2"</th> </tr> </thead> <tbody> <tr> <td>CFH</td> <td>44</td> <td>92</td> <td>173</td> <td>355</td> <td>532</td> <td>1,020</td> </tr> </tbody> </table>	SIZE	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	CFH	44	92	173	355	532	1,020
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1 Bedroom -Coop view #1



1 Bedroom -Coop view #2



1 Bedroom -Coop view #3

FOR USE IN THE TOWN OF PARADISE

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE TOWN OF PARADISE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF PARADISE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

Town of Paradise  
Pre-Approved  
ADU Program

revisions

- △
- △
- △
- △
- △

description

Exterior  
Style  
Options

date ## Month 20##

project no. 20##\_xxxxxx

drawn by xxx/xxx

sheet no. **T1.2**



# GRADING QUESTIONNAIRE & BEST MANAGEMENT PRACTICES

**Background:** Grading is regulated by Chapter 15 of the Town of Paradise Municipal Code (PMC). Grading is the removal or deposition of earth material by artificial means. Earth material is defined as any rock or natural soil or combination thereof. Grading is generally a combination of excavation (cuts) and placement (fill) of soil. Grading does not include routine farming practices. See PMC §15.02.290. Common examples of grading include construction of driveways, building pads, or site improvements, and restoration or stabilization of hillsides, slopes, or stream banks. A grading permit is required prior to commencing any grading or related work, including preparatory site clearing and soil disturbance, except where exempted from permit requirements by PMC §15.02.290 J103.

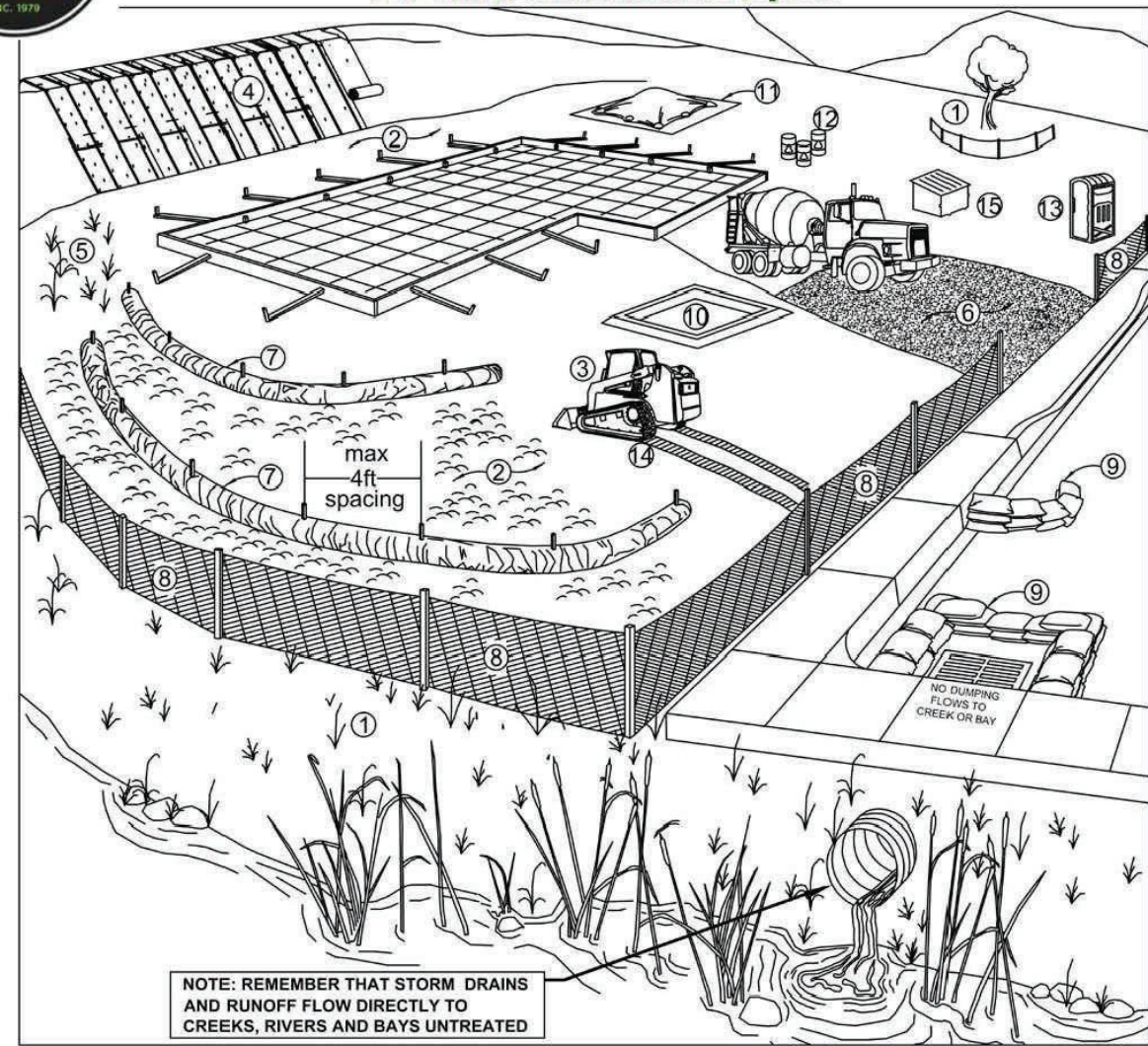
**Questionnaire:** To determine if a project requires a grading permit, please answer all the questions below. If a response to any question is unknown, contact a design professional for assistance and/or consult with the Town of Paradise Development Services staff. **Incorrect or false answers may cause delays processing and/or issuing permits related to the project.**

Questions	Yes	No	Unknown
1. Does the project include excavation which exceeds two feet in vertical depth at its deepest point measured from the original ground surface and which does not create a cut slope greater than four feet in height and steeper than one and one-half horizontal to one vertical and does not exceed fifty (50) cubic yards of material.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Does the project have a fill that exceeds one foot in vertical depth and is placed on natural terrain with a slope flatter than five horizontal to one vertical at its deepest point measured from the natural ground surface, or less than three feet in depth, not intended to support structures, which do not exceed fifty cubic yards on any one lot and does not change the existing drainage pattern	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Does the project have an excavation below finish grade for a basement, footing, retaining wall, swimming pool or other structure authorized by a valid permit, which excavation will be completely occupied by and retained by the structure authorized by valid building permit.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Does the project include a fill above existing grade, which fill will be retained by the exterior wall of a building, a retaining wall, swimming pool or other structure authorized by a valid building permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Acknowledgment:** I, as the applicant, understand that a "Yes" answer to any of the above questions means that a grading permit may be required for my project and that the grading permit must be issued before any related building permit(s) can be issued. If any answers are "Unknown" to me, I should contact my design professional immediately to determine if a grading permit is required for my project or circumstance. Furthermore, I understand that incorrect or false answers may cause delays processing and/or issuing permits related to my project.

Applicant Printed \_\_\_\_\_ Applicant Signature \_\_\_\_\_

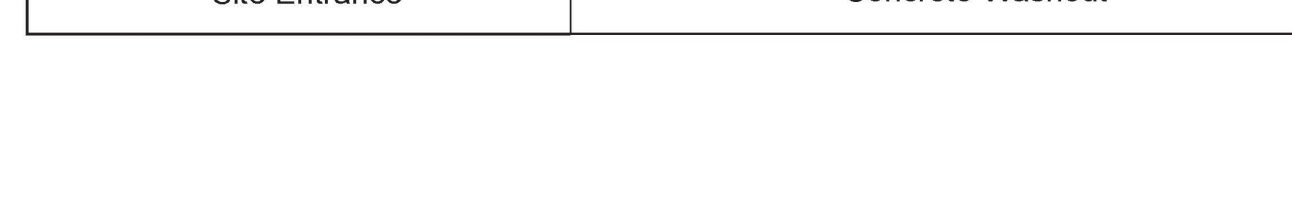
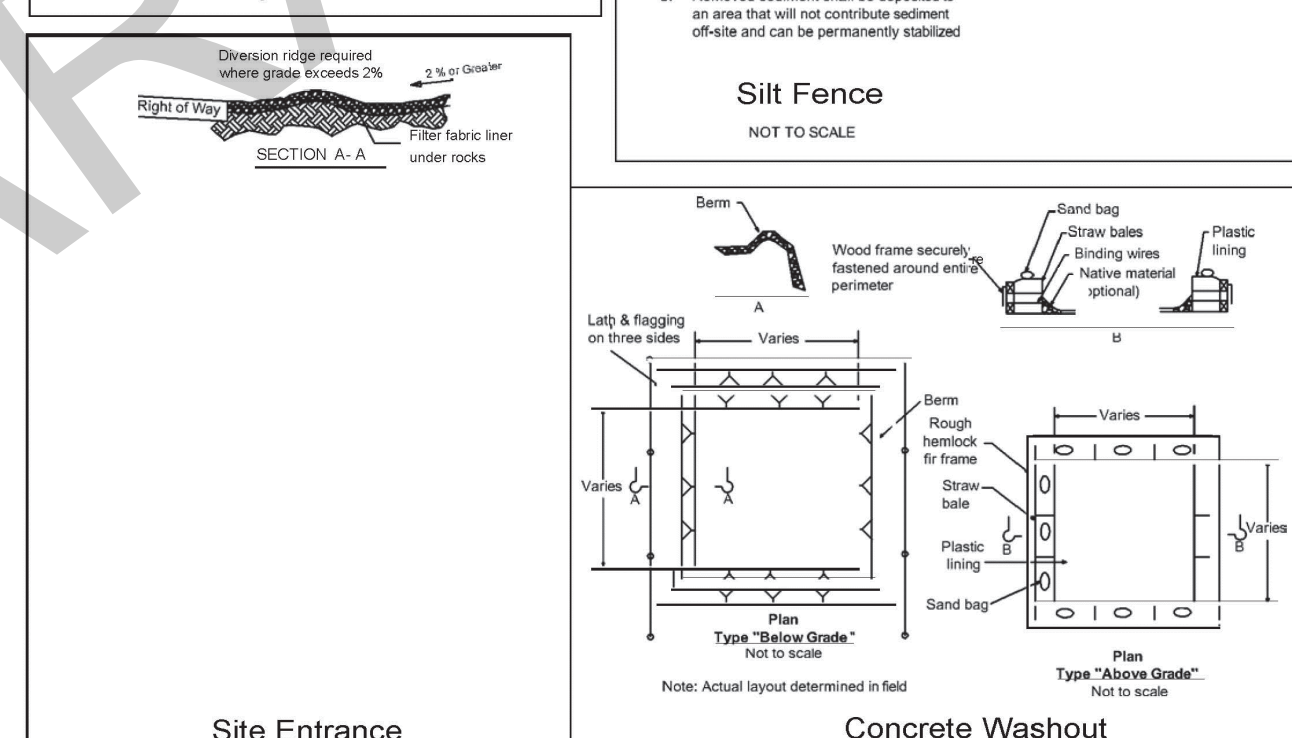
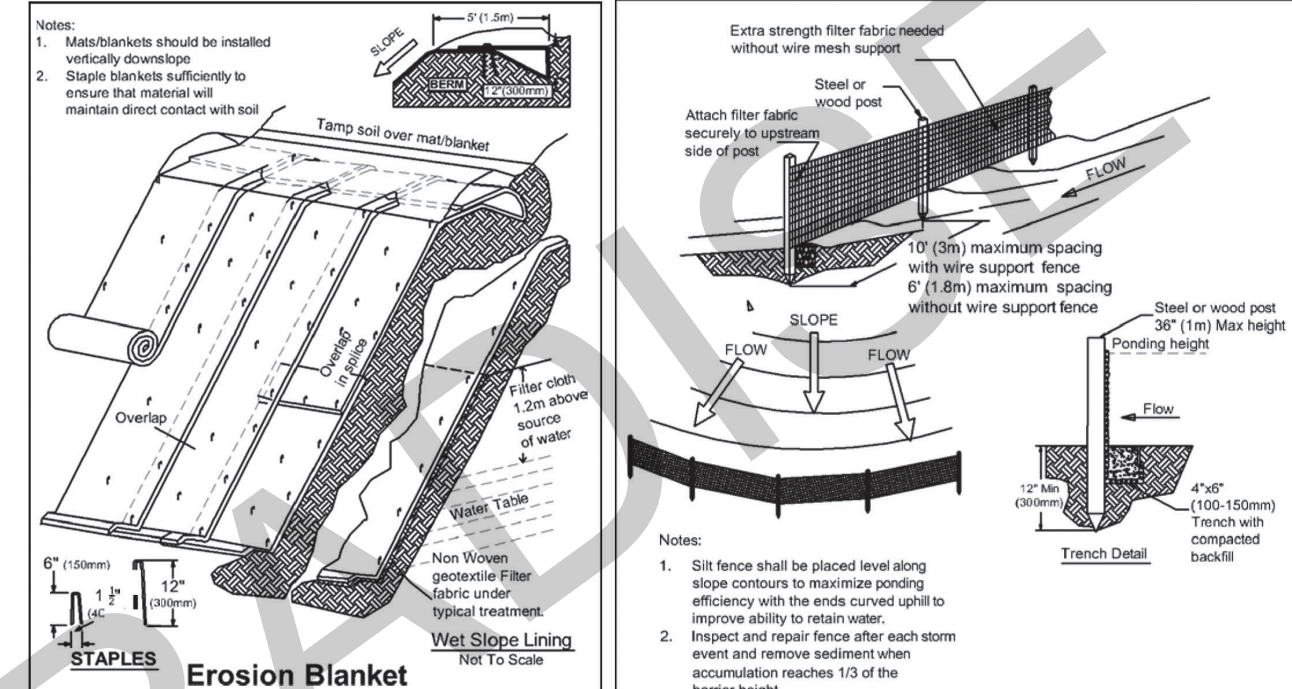
## Town of Paradise Stormwater Pollution Prevention Program Best Management Practices For Small Construction Projects



Erosion Controls	Sediment Controls	Good Housekeeping
1. Preserve Vegetation & Creek Setbacks	6. Tracking Controls	10. Concrete Washout
2. Soil Cover	7. Fiber Rolls	11. Stockpile Management
3. Soil Preparation/Roughening	8. Silt Fence	12. Hazardous Material Management
4. Erosion Control Blankets	9. Drain Inlet Protection	13. Sanitary Waste Management
5. Revegetation	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
		15. Litter and Waste Management

**Note:** Select an effective combination of control measures from each category: Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit. More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Fact Sheets. CASQA fact sheets are available by subscription in the California Best Management Practices Handbook (Form) Construction at <http://www.casqa.org>. Caltrans fact sheets are available in the Construction Site BMP Manual March 2003 at <http://www.dfg.ca.gov/hq/constructionwater/manuals.htm>.

Control Measure	General Description
<b>Erosion Control Best Management Practices</b>	<b>General Description</b>
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following fact sheets: CASQA-EC-1; or Caltrans-SS-7.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following fact sheets: CASQA-EC-2; or Caltrans-SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following fact sheets: CASQA-EC-3, EC-4, EC-7, EC-8, EC-14, EC-16; or Caltrans-SS-2, SS-4, SS-4, SS-6, SS-7, SS-9.
3 Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, tilling, etc.). For more info see the following fact sheets: CASQA-EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or feed aperture netting. See: <a href="http://www.coastal.ca.gov/wildlife/Wildlife-Friendly_Products.pdf">http://www.coastal.ca.gov/wildlife/Wildlife-Friendly_Products.pdf</a> . For more info see the following fact sheets: CASQA-EC-7; or Caltrans-SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following fact sheets: CASQA-EC-4; or Caltrans-SS-4.
<b>Sediment Control Best Management Practices</b>	<b>General Description</b>
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12 inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radial for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following fact sheets: CASQA-TC-1, TC-3; or Caltrans-TC-1, TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (rolls in front and behind soil and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or feed aperture netting. See: <a href="http://www.coastal.ca.gov/wildlife/Wildlife-Friendly_Products.pdf">http://www.coastal.ca.gov/wildlife/Wildlife-Friendly_Products.pdf</a> . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following fact sheets: CASQA-SE-5 (Type 1), SE-12, SE-13; or Caltrans-SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following fact sheets: CASQA-SE-1, SE-12; or Caltrans-SC-1.
9 Drain Inlet Protection	Use gravel bags, for similar product around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following fact sheets: CASQA-SE-10; or Caltrans-SC-10.
N/A Trench Dewatering	Follow MCTOPP BMPs for trench dewatering. <a href="http://www.marincounty.org/depts/water/divisions/mctopp/propaganda/inlet/files/DepartmentPW/InletDewateringManual/TrenchingandDewateringMCTOPPPlan09.pdf">http://www.marincounty.org/depts/water/divisions/mctopp/propaganda/inlet/files/DepartmentPW/InletDewateringManual/TrenchingandDewateringMCTOPPPlan09.pdf</a> .
<b>Good Housekeeping Best Management Practices</b>	<b>General Description</b>
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following fact sheets: CASQA-WM-8; or Caltrans-WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and debris properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following fact sheets: CASQA-WM-3; or Caltrans-WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following fact sheets: CASQA-WM-6; or Caltrans-WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Use toilet paper to prevent clogs and equip units with overflow pan(s) or most vendors provide these). For more info see the following fact sheets: CASQA-WM-8; or Caltrans-WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic trays under equipment. Immediately clean up any spills or drips. For more info see the following fact sheets: CASQA-NS-8, NS-8; and NS-10; or Caltrans-NS-8, NS-9; and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use lightweight dumpsters and trash cans. Inspect for leaks. Cover all the bags, bins, or drums and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following fact sheets: CASQA-WM-5; or Caltrans-WM-5.



## EXISTING SWIMMING POOL REQUIREMENTS

WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE DWELLING, THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES:

- (1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE DWELLING.
- (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2286 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.
- (3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.
- (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
- (5) A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE DWELLING DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.
- (6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.
- (7) OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME).
- (8) BEFORE THE ISSUANCE OF A FINAL APPROVAL FOR THE COMPLETION OF PERMITTED CONSTRUCTION OR REMODELING WORK, THE LOCAL BUILDING CODE OFFICIAL SHALL INSPECT THE DROWNING SAFETY PREVENTION FEATURES REQUIRED BY THIS SECTION AND, IF NO VIOLATIONS ARE FOUND, SHALL GIVE FINAL APPROVAL.

## FIRE NOTES

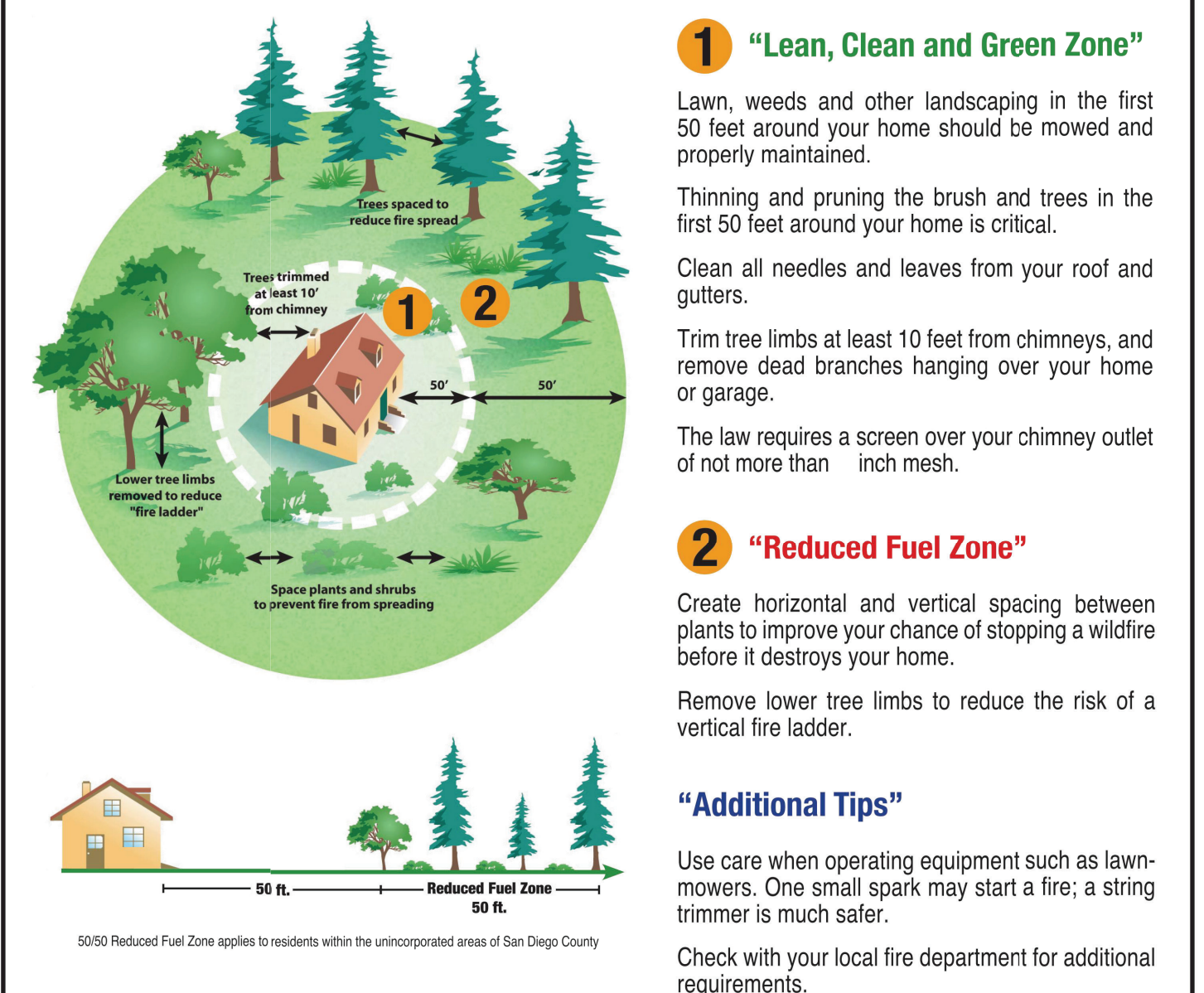
1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 5 INCHES. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SECTION 505.1
  2. ALL FIRE APPARATUS ROADS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NO LESS THAN 13 FEET 6 INCHES.
  3. SITE PLAN SHALL PROVIDE DIMENSIONS SHOWING REQUIRED FIRE APPARATUS ACCESS ROADS. FIRE ACCESS ROADWAYS SHALL HAVE AN UNOBSTRUCTED IMPROVED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS
- FIRE ACCESS ROADWAYS**
- SURFACE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS NOT LESS THAN 75,000 LBS AND SHALL BE PROVIDED WITH AN APPROVED PACED SURFACE TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
4. SEE PARADISE MUNICIPAL CODE NOTES ON SHEET G0.4 FOR MORE INFORMATION ON FIRE REQUIREMENTS

## GENERAL NOTES

1. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN
2. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
3. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.E. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK MEASUREMENT. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK.
4. NEW ELECTRIC SERVICE IS TO BE LOCATED - POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
5. LANDSCAPE AND IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS
6. ADU WILL BE CONNECTED TO THE PUBLIC SEWER SYSTEM OR WILL PROVIDE A COMPLYING SEPTIC SYSTEM.
7. CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' INTO WHICH ANY PERSON IS REQUIRED TO DESCEND.
8. A DIMENSIONED SITE PLAN DRAWN TO SCALE SHALL BE PROVIDED SHOWING THE FOLLOWING: NORTH ARROW, PROPERTY LINES, EASEMENTS, STREETS, EXISTING AND PROPOSED BUILDINGS, AND STRUCTURES. LOCATION OF YARDS USED FOR ALLOWABLE INCREASE OF BUILDING AREA, DIMENSIONED SETBACKS, MINIMUM SEPARATION FROM EXISTING STRUCTURES AND FUEL MODIFICATION ZONES PER UNIFORM ADMINISTRATIVE CODE SECTION 302.
9. IF A GRADING PLAN IS REQUIRED, INCORPORATE THE ENTIRE APPROVED GRADING PLAN/IMPROVEMENT PLAN (ALL SHEETS) WITH THE BUILDING PLANS.
10. WINDOW SILLS, BELT COURSES, CORNICES, FLUES AND CHIMNEYS, EAVES, AIR CONDITIONING UNITS AND SIMILAR ARCHITECTURAL PROJECTIONS MAY EXTEND NOT MORE THAN TWO (2) FEET INTO A REQUIRED YARD. (PMC 17.06.600 E[1])
11. SITE PREPARATION PROJECT IS TO BE STAKED OUT FOR OWNER APPROVAL BEFORE FOR EARTHWORK IS TO BEGIN.
12. SITE CLEARING CONTRACTOR WILL VERIFY WITH OWNER ALL PLANTING TO BE REMOVED PRIOR TO STARTING WORK.
13. LINES AND LEVELS THE CONTRACTOR WILL VISIT THE SITE AND EVALUATE GRADE CONDITION. FOR BIDDING PURPOSES, THE CONTRACTOR WILL CALCULATE HIS OWN CUT AND FILL QUANTITIES BASED ON THE SITE PLAN.
14. SHORING IS TO BE PROVIDED AS REQUIRED
15. EARTH WORK
  - a. PROJECT SITE COMPACTION REPORT REQUIRED.
  - b. THE CONTRACTOR IS TO VERIFY THE LOCATION OF UTILITY SERVICE IN THE AREA PRIOR TO EXCAVATION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL FINISH GRADES ARE TO SLOPE AWAY FROM THE BUILDING AND EXTERIOR PAVING 1/4" PER FOOT MINIMUM FOR A MINIMUM DISTANCE OF 5'-0". LOT DRAINAGE TO AVOID POOLING AT BUILDING.

## 100' DEFENSIBLE SPACE

**MAKE YOUR HOME FIRE SAFE**  
A Defensible Space of 100 feet around your home is required by law. It protects your home while providing a safe area for firefighters.



Contact your local CAL FIRE office, fire department, or Fire Safe Council for tips and assistance. [www.fire.ca.gov](http://www.fire.ca.gov)

## 100' DEFENSIBLE SPACE

To reduce the danger to life and property from destructive brush fires, residents are asked to:

- Maintain effective Defensible Space by removing, modifying, or thinning highly ignitable shrubs, trees or plants and other flammable materials from areas within 100 horizontal feet of structures.
- In the unincorporated area, the 100 foot fuel modification zone is divided into two zones as follows:

- Zone one:** Area within a 50 foot radius of any structure. Must be modified/treated and planted with fire resistive plants.
  - Zone two:** Area between 50 to 100 feet from the structure. Native vegetation may remain, but it must be thinned by 50% when the parcel is compared to the natural wildland setting adjacent to it. All dead and dying vegetation must be removed. Grass and other vegetation less than 18" in height above the ground need not be removed when necessary to stabilize the soil and prevent erosion.
- Remove all dead wood from trees adjacent to or overhanging a building. Remove limbs from bottom 1/3 of tree, up to a maximum of 6 feet above the ground, and all limbs within 10 foot radius of the chimney stack opening; remove debris from under trees.
  - Remove leaves, needles, or other dead vegetative growth from all roofs and gutters.
  - Stack firewood 30 feet away from structures.
  - Remove garbage, refuse, rubbish, trash, cuttings, fallen limbs, trimmings, or other easily ignitable waste material from property.
  - Remove all combustible vegetation within 10 feet along both sides of roadways and driveways.
  - Maintain a 13 foot 6 inch vertical clearance over all roads and driveways for emergency vehicles.
  - Remove all items that would easily ignite such as trash or shrubs and trees within 10 feet of propane tanks.
  - Display address at a location plainly visible to emergency vehicles on the street or roadway fronting your property.
- These are the minimum requirements. Your particular parcel may have additional requirements based on topography and native plant conditions. In addition, you may consider locating patio furniture away from structures, to avoid an ignition source.
- For more information visit: [www.ReadySanDiego.org](http://www.ReadySanDiego.org)

Contact your local CAL FIRE office, fire department, or Fire Safe Council for tips and assistance. [www.fire.ca.gov](http://www.fire.ca.gov)

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE TOWN OF PARADISE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF PARADISE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM IN ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.
3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
4. THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



**SITE INFORMATION CHECKLIST:**  
SEE SITE PLAN NOTES ON SHEET G02 FOR FURTHER INFORMATION

- X TO BE INCLUDED ON SITE PLAN**
- ALL EXTERIOR SITE BOUNDARIES CORRECTLY SCALED AND DIMENSIONED
  - NORTH ARROW
  - SCALE OF PLANS, GRAPHIC AND WRITTEN
  - LEGEND OF SYMBOLS, LINES, ABBREVIATIONS, ETC. USED ON PLANS
  - SITE CONTOURS, GRADE ELEVATIONS, AND OTHER TOPOGRAPHIC FEATURES
  - LOCATION AND DIMENSION OF ALL DRIVEWAY, ACCESS ROADS, AND CURB CUTS ARISING OUT OF OR RESULTING THERE FROM ANY USE OF THESE CONSTRUCTION DOCUMENTS
  - LOCATION AND DIMENSIONS OF ALL EASEMENTS (ELECTRIC, WATER, SEWER, ETC)
  - REQUIRED AND PROPOSED BUILDING SETBACKS
  - LOCATION OF EXISTING AND PROPOSED BUILDINGS AND STRUCTURES
  - DISTANCE OF ALL STRUCTURES FROM EACH OTHER AND FROM PROPERTY LINES
  - LOCATION AND SIZE OF OFF-STREET PARKING
  - LOCATION OF EXISTING AND PROPOSED VEGETATION
  - LOCATION OF EXISTING AND PROPOSED UTILITIES TO NEW ADU
  - LOCATION OF EXISTING AND NEW UTILITIES (SEWER LATERAL, CLEANOUTS, GAS LINES, ELECTRICAL OVERHEAD, OR UNDERGROUND CONDUCTORS)
  - NEW SEWER LATERAL SERVING THE NEW ADU IS TO COMPLY WITH CPC 311.1
  - ADU SEWER LINE CANNOT BE CONNECTED DIRECTLY TO THE EXISTING MAIN DWELLING UNIT IF THERE ARE FOUR OR MORE TOILETS AND A 3 INCH SEWER DRAIN ALREADY EXISTS IN THE MAIN DWELLING UNIT PER CURRENT CPC TABLE 703.2.
  - LOCATION OF EXISTING AND NEW METER LOCATIONS (GAS, ELECTRICAL, WATER)
  - SITE PLAN SIGNED BY PREPARER.
  - LOCATION OF SEPTIC SYSTEM AND LEACH LINES (IF APPLICABLE) EXISTING AND/OR PROPOSED
  - SOILS: LAND NOT SUBJECT TO LIQUEFACTION / GEO HAZARD OR SPECIAL STUDY ZONE
  - FLOOD: NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD
  - USING THE AS-BUILT ON FILE, ACCURATELY DRAW IN THE SEPTIC SYSTEM INCLUDING BOTH THE SEPTIC TANK AND LEACH FIELD
  - TOPOGRAPHY / SLOPE OF LAND AROUND ADU DESIGNED TO DRAIN AWAY FROM ADU AND MAIN DWELLING UNIT
  - ENCROACHMENT PERMIT REQUIRED FOR ANY CONSTRUCTION IN THE RIGHT OF WAY

**WILD FIRE PREPARED HOME STANDARDS**  
**SITE NOTES:**

**Home Ignition Zone – The First 5 Feet Around the Home:**  
The Home Ignition Zone (HIZ) is one of the most critical aspects of wildfire mitigation at the parcel level and includes the space from the edge of the exterior walls to a distance of 5 feet from the building footprint, as shown in Figure 2. Note that when decks and/or covered porches are present, the HIZ must extend around them.

The HIZ must meet and maintain monthly all the following conditions:  
Ground cover must be noncombustible and maintained free of debris (noncombustible landscape such as gravel or paving stones is recommended).  
No vegetation (trees, shrubs, bushes, plants, grass, weeds, etc.) should exist within or overhang the HIZ. Any overhanging limbs or branches from nearby trees and bushes must be trimmed back to be outside the HIZ.  
No combustible items (such as furniture, firewood, trash cans, etc.) should be stored in the HIZ.  
No boats, RVs, or other vehicles should be parked in the HIZ.

**Landscape in the Remainder of the Parcel:**  
The remainder of the property beyond the 5-foot HIZ must maintain defensible space. Defensible space separates fuels to reduce flame intensity near a home. This includes:  
Routinely removing fallen pine needles, leaves, and other debris from trees accumulated in the yard.  
Regularly caring for trees, shrubs, bushes, plants, and grass.  
Trees should be pruned to have a canopy-to-canopy distance of at least 10 feet. Tree limbs and branches should be pruned to a minimum height of 6 feet off the ground, if the trunk is at least 4 inches in diameter.  
Shrubs and bushes should be spaced at a distance of at least twice the height of the bush or shrub. Rows of shrubs or bushes are not allowed.  
Routinely removing any dead vegetation.

**Fences:**  
Fencing within 5 feet of the home must be constructed of a noncombustible material including where fences attach to the home.

In addition to the requirements listed above, back-to-back fencing (meaning separate fences that are closer than 3 feet apart) is not permitted. Meeting this requirement may necessitate coordination with neighboring parcels to eliminate duplicative fences that can trap debris between them.

**Accessory Structures & Outbuildings:**  
All unattached accessory structures and outbuildings that are within 30 feet of the home and that have a footprint greater than or equal to 15 square feet—such as sheds, gazebos, accessory dwelling units (ADUs), open covered structures with solid roofs, dog houses, playhouses, etc.—must meet the same wildfire resilience requirements as the home structure. Up to 3 total accessory structures and/or outbuildings are acceptable. Each structure must have its own 5 feet of defensible space (as prescribed under Home Ignition Zone) that does not overlap the 5-foot HIZ required for the home, decks, or other structures within 30 feet of the home.

ADUs attached to the primary home by building permit are considered part of the primary structure and subject to the same requirements.

As of publication of this standard, IBHS continues active research into the spacing required between structures to reduce the likelihood of one igniting the other, including the impact of features such as combustible or noncombustible siding. The provisions of this section of the standard may be updated as this research matures.

KEYNOTES
1 LINE OF EXTERIOR WALL, TYP.
2 LINE OF ROOF OVERHANG / DECK / AWNING / STRUCTURE ABOVE
3 REQUIRED SETBACKS
4 PROPERTY LINE, TYP.
5 EXISTING GAS METER
6 EXISTING WATER METER
7 EXISTING ELECTRIC METER.
8 CONDENSING UNIT
9 SURFACE WATER IS TO DRAIN AWAY FROM BUILDING. GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10 FEET
10 FEEDER TO EXTEND TO EXISTING PANEL
11 NEW ADU SUB PANEL / DISCONNECT / JUNCTION BOX AND GROUNDING ELECTRODE SYSTEM PER NEC ARTICLE 250.32

GENERAL NOTES
1. SPOT DIMENSIONS INDICATE ESTIMATED GRADE HEIGHTS. VERIFY IN FIELD PRIOR TO CONSTRUCTION.
2. SEE BUILDING PLANS FOR ALL OTHER DIMENSIONS AND NOTES NOT SHOWN.
3. SEE BUILDING PLANS AND SCHEDULES FOR ALL EXTERIOR DOOR AND WINDOW REFERENCES AND LOCATIONS.
4. YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE OF STUDS).
5. SEWER DRAIN CLEANOUTS REQUIRED AT 100 FOOT INTERVALS AND CHANGES IN DIRECTION OF 135 DEGREES OR MORE.

LEGEND
SPOT GRADE ELEVATION
AREA OF NEW BUILDING FOOTPRINT
AREA OF EXISTING BUILDING FOOTPRINT
CONCRETE PAVING
LANDSCAPE
KEYNOTE
PROPERTY LINE
REQUIRED SETBACKS
DRAINAGE PATTERN
SITE CONTOURS
NEW SEWER LINE
NEW DOMESTIC WATER LINE
NEW ELECTRICAL & TEL DATA LINE
NEW GAS LINE
NEW OR EXISTING FENCE

CERTIFICATE OF ACCURACY
I CERTIFY ALL DOCUMENTS AND PLANS CLEARLY AND ACCURATELY SHOW ALL EXISTING AND ALL PROPOSED BUILDINGS, STRUCTURES, ACCESS ROADS, AND UTILITIES/UTILITY EASEMENTS. ALL PROPOSED LAND USE ACTIVITIES, IMPROVEMENTS TO LAND, AND/OR BUILDING MODIFICATIONS OR ADDITIONS ARE CLEARLY LABELED ON THE SITE PLAN OF THE APPROVED PLAN SET. I UNDERSTAND THAT ANY POTENTIALLY EXISTING DETAIL WITHIN THESE PLANS INCONSISTENT WITH THE SITE PLAN ARE NOT APPROVED AND MAY BE REQUIRED TO BE ALTERED OR REMOVED. THE SUBMITTED DOCUMENTS AND PLANS SHOW THE CORRECT DIMENSIONS OF THE PROPERTY, THE BUILDINGS, AND STRUCTURES AND THEIR SETBACKS FROM PROPERTY LINES AND FROM ONE ANOTHER, ACCESS ROADS/EASEMENTS, AND UTILITIES. THE EXISTING AND PROPOSED USE OF LAND AND OF EACH BUILDING AS STATED IS TRUE AND CORRECT. FURTHER, ALL IMPROVEMENTS EXISTING ON THE PROPERTY WERE COMPLETED IN ACCORDANCE WITH ALL REGULATIONS IN EXISTENCE AT THE TIME OF THEIR CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL EASEMENTS AND OTHER ENCUMBRANCES TO DEVELOPMENT HAVE BEEN ACCURATELY SHOWN AND LABELED AS WELL AS ALL ON-SITE GRADING/SITE PREPARATION.
APPLICANT (SIGNATURE): _____ DATE: _____
SITE PLAN PREPARED BY (SIGNATURE) _____ DATE: _____

UTILITIES PROVIDERS:
- GAS: _____
- ELECTRIC: _____
- WATER: _____

GRADING INFORMATION:
TOTAL CUBIC YARD OF EARTHWORK = _____
TOTAL FILL MATERIAL PLACED ON AN EXISTING SLOPE STEEPER THAN FIVE UNITS HORIZONTAL TO ONE VERTICAL = _____
TOTAL CUT OR FILL MATERIAL EXCEEDING FOUR FEET IN VERTICAL DEPTH, MEASURED FROM THE EXISTING GROUND SURFACE = _____

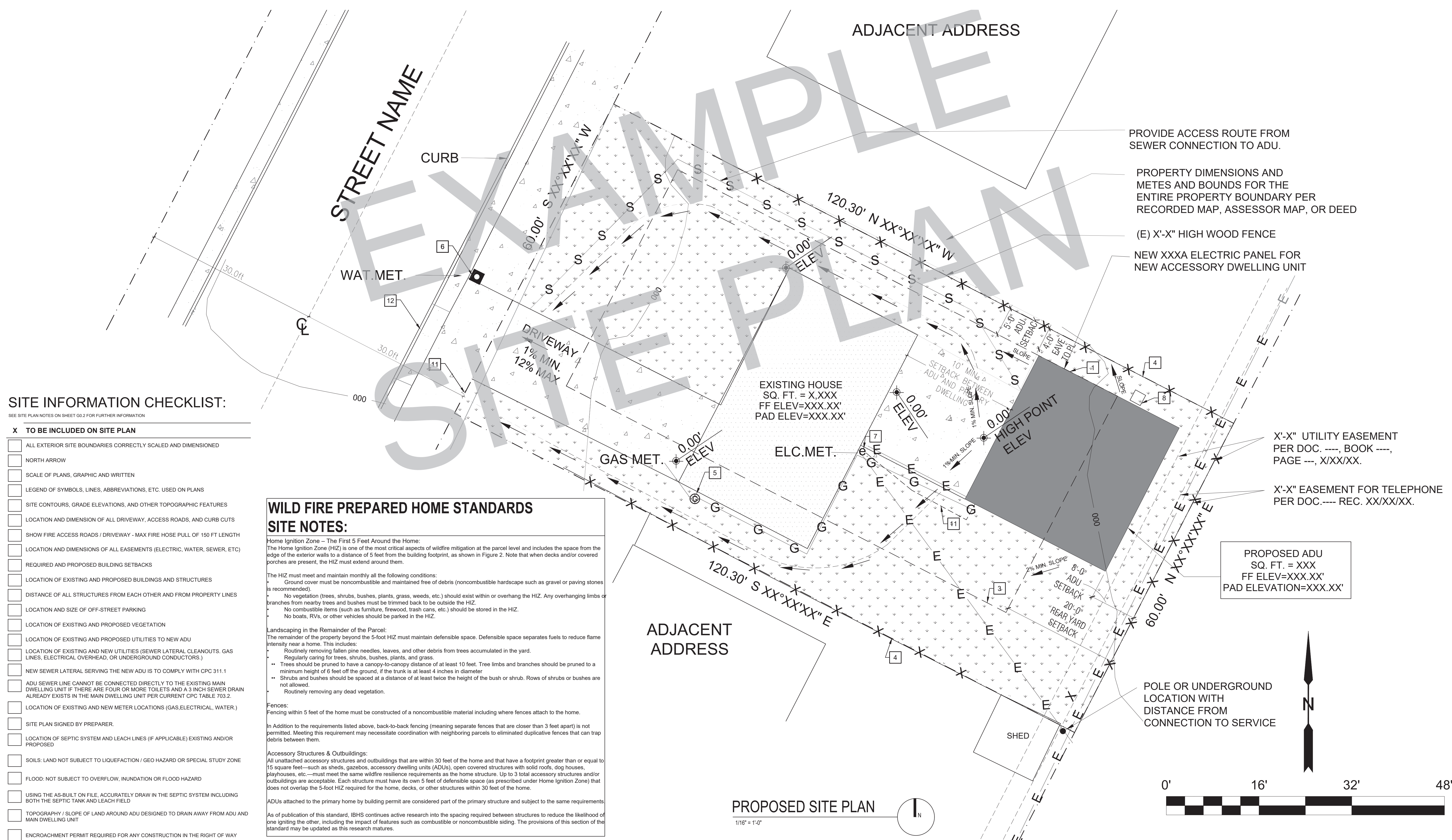
project  
Town of Paradise  
Pre-Approved  
ADU Program

revisions  
description  
**Example  
Site Plan**

date ## Month 20##  
project no. 20##\_xxxxxx  
drawn by xxx/xxx

sheet no. **AS.2**

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# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

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<b>CHAPTER 3 GREEN BUILDING</b> <b>SECTION 301 GENERAL</b> <b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. <b>301.1.1 Additions and alterations.</b> [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application. <b>Note:</b> Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section. <b>Note:</b> On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		
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<b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] - NOT USED</b> <b>SECTION 302 MIXED OCCUPANCY BUILDINGS</b> <b>302.1 MIXED OCCUPANCY BUILDINGS. - NOT USED</b> <b>DIVISION 4.1 PLANNING AND DESIGN</b> <b>ABBREVIATION DEFINITIONS:</b> HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New		
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<b>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</b> <b>SECTION 4.102 DEFINITIONS</b> <b>4.102.1 DEFINITIONS</b> The following terms are defined in Chapter 2 (and are included here for reference) <b>FRENCH DRAIN.</b> A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar porous material used to collect or channel drainage or runoff water. <b>WATTLETS.</b> Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.		
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<b>4.106 SITE DEVELOPMENT</b> <b>4.106.1 GENERAL.</b> Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. <b>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</b> Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by way of a barrier system, wattle point, wattle point method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. <b>Note:</b> Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: <a href="https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html">https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html</a> )		
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<b>4.106.3 GRADING AND PAVING.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. <b>Exception:</b> Additions and alterations not altering the drainage path.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.106.4 Electric vehicle (EV) charging for new construction. - NOT USED</b> <b>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. - NOT USED</b> <b>4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing multifamily buildings. - NOT USED</b>		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>DIVISION 4.2 ENERGY EFFICIENCY</b> <b>4.201 GENERAL</b> <b>4.201.1 SCOPE.</b> For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.		
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<b>DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION</b> <b>4.303 INDOOR WATER USE</b> <b>4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS.</b> Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. <b>Note:</b> All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		
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<b>4.303.1.1 Water Closets.</b> The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. <b>Note:</b> The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.		
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<b>4.303.1.2 Urinals. - NOT USED</b> <b>4.303.1.3 Showerheads.</b> <b>4.303.1.3.1 Single Showerhead.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. <b>4.303.1.3.2 Multiple showerheads serving one shower.</b> When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. <b>Note:</b> A hand-held shower shall be considered a showerhead.		
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<b>4.303.1.4 Faucets.</b> <b>4.303.1.4.1 Residential Lavatory Faucets.</b> The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 80 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. <b>4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. - NOT USED</b> <b>4.303.1.4.3 Metering Faucets. - NOT USED</b> <b>4.303.1.4.4 Kitchen Faucets.</b> The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 80 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 80 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 80 psi. <b>Note:</b> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. <b>4.303.1.4.5 Pre-rinse spray valves. - NOT USED</b> <b>4.303.2 Submitters for multifamily buildings and dwelling units in mixed-used residential/commercial buildings. - NOT USED</b> <b>4.303.3 Standards for plumbing fixtures and fittings.</b> Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1 of the <i>California Plumbing Code</i> . <b>NOTE:</b> THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. <b>TABLE - MAXIMUM FIXTURE WATER USE</b> <table border="1"> <thead> <tr> <th>FIXTURE TYPE</th> <th>FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>SHOWER HEADS (RESIDENTIAL)</td> <td>1.8 GMP @ 80 PSI</td> </tr> <tr> <td>LAVATORY FAUCETS (RESIDENTIAL)</td> <td>MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI</td> </tr> <tr> <td>LAVATORY FAUCETS IN COMMON &amp; PUBLIC USE AREAS</td> <td>0.5 GPM @ 60 PSI</td> </tr> <tr> <td>KITCHEN FAUCETS</td> <td>1.8 GPM @ 60 PSI</td> </tr> <tr> <td>METERING FAUCETS</td> <td>0.2 GAL/CYCLE</td> </tr> <tr> <td>WATER CLOSET</td> <td>1.28 GAL/FLUSH</td> </tr> <tr> <td>URINALS</td> <td>0.125 GAL/FLUSH</td> </tr> </tbody> </table>			FIXTURE TYPE	FLOW RATE	SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI	LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	KITCHEN FAUCETS	1.8 GPM @ 60 PSI	METERING FAUCETS	0.2 GAL/CYCLE	WATER CLOSET	1.28 GAL/FLUSH	URINALS	0.125 GAL/FLUSH
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<b>4.304 OUTDOOR WATER USE</b> <b>4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS.</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. <b>NOTES:</b> 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the <i>California Code Regulations</i> , Title 23, Chapter 2.7, Division 2. MWLEO and supporting documents, including water budget calculator, are available at: <a href="https://www.water.ca.gov">https://www.water.ca.gov</a>																		
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<b>DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</b> <b>4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE</b> <b>4.406.1 RODENT PROOFING.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. <b>4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING</b> <b>4.408.1 CONSTRUCTION WASTE MANAGEMENT.</b> Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. <b>Exceptions:</b> 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. <b>4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN.</b> Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. <b>4.408.3 WASTE MANAGEMENT COMPANY.</b> Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. <b>Note:</b> The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. <b>4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. <b>4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.</b> Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.																		
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<b>4.408.5 DOCUMENTATION.</b> Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. <b>NOTES:</b> 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at <a href="http://www.hcd.ca.gov/CALGreen.html">www.hcd.ca.gov/CALGreen.html</a> may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).																		
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<b>4.410 BUILDING MAINTENANCE AND OPERATION</b> <b>4.410.1 OPERATION AND MAINTENANCE MANUAL.</b> At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.																		
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4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code. 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible space around residential structures. 12. Information and/or drawings identifying the location of grab bar reinforcements. <b>4.410.2 RECYCLING BY OCCUPANTS.</b> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. <b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.		
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<b>DIVISION 4.5 ENVIRONMENTAL QUALITY</b> <b>SECTION 4.501 GENERAL</b> <b>4.501.1 Scope</b> The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. <b>SECTION 4.502 DEFINITIONS</b> <b>5.102.1 DEFINITIONS</b> The following terms are defined in Chapter 2 (and are included here for reference) <b>AGRIFIBER PRODUCTS.</b> Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FFAE) not considered base building elements. <b>COMPOSITE WOOD PRODUCTS.</b> Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of Regulations (CCR), title 17, Section 93120.1. <b>DIRECT-VENT APPLIANCE.</b> A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. <b>MAXIMUM INCREMENTAL REACTIVITY (MIR).</b> The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O <sub>3</sub> /g ROG). <b>Note:</b> MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701. <b>MOISTURE CONTENT.</b> The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. <b>PRODUCT-WEIGHTED MIR (PVMIR).</b> The sum of all weighted-MIR for all ingredients in a product subject to this article. The PVMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). <b>Note:</b> PVMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). <b>REACTIVE ORGANIC COMPOUND (ROC).</b> Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere. <b>VOC.</b> A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).		
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<b>4.503 FIREPLACES</b> <b>4.503.1 GENERAL.</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.		
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<b>4.504 POLLUTANT CONTROL</b> <b>4.504.1 COVERING OF DUCT OPENINGS &amp; PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.</b> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. <b>4.504.2 FINISH MATERIAL POLLUTANT CONTROL.</b> Finish materials shall comply with this section. <b>4.504.2.1 Adhesives, Sealants and Caulks.</b> Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1188 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1188 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i> , Title 17, commencing with Section 94520, and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. <b>4.504.2.2 Paints and Coatings.</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. <b>4.504.2.3 Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of <i>California Code of Regulations</i> , Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. <b>4.504.2.4 Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers.		
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<b>4.504.3 CARPET SYSTEMS.</b> All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a> . <b>4.504.3.1 Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a> . <b>4.504.3.2 Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1. <b>4.504.4 RESILIENT FLOORING SYSTEMS.</b> Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350) See California Department of Public Health's website for certification programs and testing labs. <a href="https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx">https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx</a> .		
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<b>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)</b> <b>4.504.5 COMPOSITE WOOD PRODUCTS.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 <b>4.504.5.1 Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labels and invoices as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing agency. <b>4.505 INTERIOR MOISTURE CONTROL</b> <b>4.505.1 General.</b> Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i> . <b>4.505.2 CONCRETE SLAB FOUNDATIONS.</b> Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section. <b>4.505.2.1 Capillary break.</b> A capillary break shall be installed in compliance with at least one of the following: 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional. <b>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.</b> Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure. <b>4.506 INDOOR AIR QUALITY AND EXHAUST</b> <b>4.506.1 Bathroom exhaust fans.</b> Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) <b>Notes:</b> 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i> .		
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<b>4.507 ENVIRONMENTAL COMFORT</b> <b>4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.</b> Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods. <b>Exception:</b> Use of alternate design temperatures necessary to ensure the system functions are acceptable.		
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<b>CHAPTER 7 INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b> <b>702 QUALIFICATIONS</b> <b>702.1 INSTALLER TRAINING.</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency. <b>702.2 SPECIAL INSPECTION [HCD].</b> When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency. <b>Notes:</b> 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency. <b>Note:</b> Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.		
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<b>703 VERIFICATIONS</b> <b>703.1 DOCUMENTATION.</b> Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.		
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BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE TOWN OF PARADISE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF PARADISE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL REMEDY TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS, ENGINEERS OR WLL/FUL MISCODONT/D DESIGN PATH STUDIO OR ITS ARCHITECTS.  
 3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

project

Town of Paradise  
Pre-Approved  
ADU Program

revisions

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description

Calgreen  
Checklist

date ## Month 20# #

project no. 20# #, #xxxxx

drawn by xxx/xxx

sheet no. **G0.1**



GENERAL NOTES	FOUNDATIONS & CONCRETE SLAB NOTES	ROOF NOTES (CONTINUED)	FLOOR PLAN NOTES	FLOOR PLAN NOTES (CONTINUED)
<ol style="list-style-type: none"> <li>DO NOT SCALE THE DRAWING, USE THE DIMENSIONS ONLY. IF A DISCREPANCY IS FOUND TO EXIST, NOTIFY THE OWNER.</li> <li>THESE PLANS/SPECIFICATIONS AND ALL WORK SHALL COMPLY WITH CURRENT EDITION OF STATE OF CALIFORNIA TITLE 24 CRC AND CURRENT 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, AND 2022 CALIFORNIA ELECTRICAL CODE.</li> <li>DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND IS TO BE REVIEWED AND APPROVED BY THE TOWN OF PARADISE.</li> <li>VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND STAKE OUT STRUCTURE FOR OWNER'S APPROVAL PRIOR TO STARTING ANY WORK.</li> <li>ALL WEATHER-EXPOSED SURFACES ARE TO HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THAT EXTERIOR OPENINGS ARE TO BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.</li> <li>SPECIFICATIONS FOR EQUIPMENT SHALL BE KEPT ON SITE TO PROVIDE TO THE TOWN OF PARADISE BUILDING INSPECTOR</li> <li>APPLICANT IS RESPONSIBLE TO VERIFY WHETHER THE JOB SITE IS LOCATED WITHIN THE SPECIAL PERMIT ZONE. PROJECTS LOCATED IN THE SPECIAL PERMIT ZONE SHALL PROVIDE AN ELEVATION CERTIFICATE WITH SUPPORTING DOCUMENTS TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.</li> <li>THE PV SYSTEM WILL BE SUBMITTED UNDER A SEPARATE PERMIT. A PHOTOVOLTAIC (SOLAR) SYSTEM BUILDING AND ELECTRICAL PERMIT SHALL BE ISSUED PRIOR TO ADU BUILDING FRAME INSPECTION REQUEST.</li> <li>SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.</li> <li>VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENT PLANS, SPECIFICATION BUILDER OR INSTALLER CERTIFICATIONS, INSPECTIONS REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH TO SHOW SUBSTANTIAL CONFORMANCE.</li> <li>THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO TOWN OF PARADISE BUILDING DEPARTMENT.</li> <li>THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FORM MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.0</li> </ol>	<ol style="list-style-type: none"> <li>INTERIOR MOISTURE CONTROL AT SLAB ON GRADE FLOORS SHALL BE PROVIDED BY THE SOIL ENGINEER. IF A SOIL ENGINEER HAS NOT PREPARED A SOIL REPORT FOR THIS PROJECT, THE FOLLOWING IS REQUIRED: A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A 10 MIL. VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, WITH A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED.</li> <li>FOOTINGS SHALL EXTEND AT LEAST 12 INCHES INTO THE UNDISTURBED GROUND SURFACE. (CRC R403.1.4)</li> <li>STEPPED FOOTINGS SHALL BE USED WHEN SLOPE OF FOOTING BOTTOM IS GREATER THAN 1 IN 10 (V: H). STEP FOOTING DETAIL SHALL BE SHOWN ON BUILDING ELEVATIONS AND FOUNDATION PLAN. (CRC R403.1.5)</li> <li>CONCRETE SLABS: 3 1/2" MINIMUM (CRC R506.1). SLABS UNDER LIVING AREAS AND GARAGES SHALL BE REINFORCED WITH WIRE 6" X 6", 10-GAUGE X 10 GAUGE WELDED MESH OR EQUIVALENT STEEL REINFORCEMENT AND 4" THICKNESS OF 3/8" MINIMUM GRAVEL UNDER THE CONCRETE SLAB. SEPARATE FROM SOIL WITH A 10-MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES IN LIVING AREAS. A CAPILLARY BREAK SHALL BE INSTALLED WHEN A VAPOR RETARDER IS REQUIRED.</li> </ol>	<ol style="list-style-type: none"> <li>SLATE SHINGLES SHALL BE USED ONLY ON SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE) OR GREATER.</li> <li>THE MINIMUM SLOPE FOR STANDING-SEAM ROOF SYSTEMS SHALL BE ONE-QUARTER UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE).</li> <li>BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE, EXCEPT FOR COAL-TAR BUILT-UP ROOFS, WHICH SHALL HAVE A DESIGN SLOPE OF A MINIMUM ONE-EIGHTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (1-PERCENT SLOPE).</li> <li>MINERAL-SURFACED ROLL ROOFING SHALL NOT BE APPLIED ON ROOF SLOPES BELOW ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE).</li> <li>MODIFIED BITUMEN ROOFING SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.</li> <li>SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.</li> <li>A CLASS A WUI COMPLIANT ROOF ASSEMBLY SHALL BE INSTALLED PER THE FOLLOWING: <ol style="list-style-type: none"> <li>ROOF COVERING SHALL COMPLY WITH 2022 CRC R337.5.2 UNDERLAYMENT SHALL BE ONE LAYER OF OF MINIMUM 72 POUND MINERAL-SURFACED ON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING.</li> <li>ROOF VALLEYS SHALL COMPLY WITH 2022 CRC R337.5.3. VALLEY FLASHING SHALL BE NOT LESS THAN 26 GAGE GALVANIZED SHEET CORROSIVE RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH OF THE VALLEY.</li> <li>ROOF GUTTERS SHALL COMPLY WITH 2022 CRC R337.5.4 AND BE OF NON-COMBUSTIBLE MATERIAL [PMC 15.03.070]. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.</li> <li>WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, GABLE ENDS, RIDGE ENDS, UNDER EAVES AND CORNICES, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION, FOUNDATIONS AND CRAWL SPACES, OR ANY OTHER OPENING INTENDED TO PERMIT VENTILATION, EITHER IN A HORIZONTAL OR VERTICAL PLANE, SHALL BE IN ACCORDANCE WITH SECTION 1202 OF THE CBC AND SECTIONS R337.6.1 THRU R337.6.2 TO RESIST BUILDING IGNITION FROM THE INTRODUCTION OF BURNING EMBERS AND FLAME THRU THE VENTILATION OPENINGS. (R337.6.1)</li> <li>VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS <ol style="list-style-type: none"> <li>THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST.</li> <li>THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST.</li> <li>THE MAX. TEMP. OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662° (350°C). (R337.6.2)</li> </ol> </li> </ol> </li> </ol>	<ol style="list-style-type: none"> <li>ALL DIMENSIONS TO FACE OF STUD, U.N.O.</li> <li>ALL DOORS SHOULD BE 3 1/2" FROM NEAREST INTERSECTING WALL AT HINGED SIDE, U.N.O.</li> <li>WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR TO VERIFY ALL DIM. PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY OWNER OF ANY DISCREPANCIES.</li> <li>REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION AND DIM. NOT SHOWN.</li> <li>TRANSITION OF FLOOR MATERIALS OCCURRING IN OPENINGS WITH DOORS TO BE LOCATED UNDER THE CENTER OF THE DOOR IN THE CLOSED POSITION. TRANSITION OF FLOOR MATERIAL OCCURRING WITH NO DOOR TO BE LOCATED TO ALIGN WITH THE FACE OF THE PARTITION, U.O.N</li> <li>DIFFUSERS AND GRILLS TO MATCH COLOR OF SURFACE AT WHICH THEY ARE MOUNTED, U.O.N.</li> <li>FLOOR FINISH TO CONTINUE UNDER MILLWORK WHERE FLOOR IS VISIBLE (I.E. TRASH, RECYCLING, ECT.) 8. SILICON SEALANT AT GLAZING TO BE CLEAR, U.O.N.</li> <li>PLUMBING, ELECTRICAL, AND SPRINKLER EQUIPMENT, IF REQUIRED TO BE PAINTED TO MATCH COLOR OF ADJACENT SURFACE.</li> <li>ALL FINISH MATERIAL MUST MEET ALL APPLICATION FIRE, LIFE SAFETY, AND BUILDING CODES. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA. PARTICLE BOARD, MDF AND PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.</li> <li>65% OF CONSTRUCTION WASTE IS TO BE RECYCLED AND 100% OF INERT MATERIALS ARE REQUIRED SALVAGED, COMPOSTED.</li> <li>VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3, AND 4.504.4 FOR: ADHESIVES, PAINTS, STAINS, CAULKS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISHED MATERIALS HAVE BEEN USED.</li> <li>MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE LISTED METHODS LISTED IN CGC SECTION 4.503.3</li> <li>AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT, THE EGRESS DOOR SHALL BE SIDE HINGED WITH A MINIMUM OPENABLE WIDTH OF 32 INCHES; THE MINIMUM CLEAR OPENABLE HEIGHT SHALL BE 78 INCHES MINIMUM (OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE DIMENSIONS). EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT. (CRC R311.2)</li> <li>PROVIDE LANDINGS AND A PORCH LIGHT AT ALL EXTERIOR DOORS. LANDINGS ARE TO BE MINIMUM 3 FT DEEP X WIDTH OF DOOR. LANDINGS AT REQUIRED EGRESS DOORS MAY STEP DOWN A MAXIMUM OF 7.75 INCHES WHEN THE DOOR DOES NOT SWING OVER THE LANDING AND 1.5 INCHES WHEN DOOR SWINGS ONTO THE LANDING. OTHER THAN REQUIRED EXTERIOR EXIT DOORS MAY HAVE A THRESHOLD OF 7.75 INCHES MAXIMUM; A LANDING IS NOT REQUIRED IF A STAIR WITH TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE AND THE DOOR DOES NOT SWING OVER THE STAIRWAY. (CRC R311.3-R311.3.2)</li> <li>NEW SINGLE FAMILY RESIDENTIAL CONSTRUCTION SHALL BE DESIGNED FOR AGING-IN-PLACE DESIGN AND FALL PREVENTION PER R327 <ol style="list-style-type: none"> <li>AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH GRAB BAR REINFORCEMENT INSTALLED. WHERE THERE IS NO BATHROOM ON THE ENTRY LEVEL, AT LEAST ONE BATHROOM ON THE SECOND OR THIRD FLOOR OF THE DWELLING SHALL COMPLY WITH THIS SECTION.</li> <li>REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.</li> <li>REINFORCEMENT SHALL NOT BE LESS THAN 2 X 8 INCH NOMINAL LUMBER. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39-1/4 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.</li> <li>WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.</li> <li>SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.</li> <li>BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.</li> </ol> </li> </ol>	<ol style="list-style-type: none"> <li>PROVIDE EACH BEDROOM, BASEMENT, AND HABITABLE ATTICS WITH A MINIMUM OF ONE EXTERIOR WINDOW WITH A 44" MAXIMUM CLEAR OPENING HEIGHT, 5.7 SQ. FT. MINIMUM CLEAR OPENABLE AREA (MINIMUM 5.0 SQ. FT. AT GRADE FLOOR OPENINGS), 24" MINIMUM CLEAR OPENABLE HEIGHT AND 20" MINIMUM CLEAR WIDTH, OR AN OPENABLE EXTERIOR EXIT DOOR. (CRC R310.2.1 AND CRC R310.2.2) WINDOW WELLS, LADDERS, AND STEPS SHALL COMPLY WITH CRC R310.2.3. BARS, GRILLES, COVERS, AND SCREENS SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR FORCE GREATER THAN 15LBS TO OPERATE THE EMERGENCY ESCAPE AND RESCUE OPENINGS. (CRC R310.4.4) PHOTOVOLTAIC PANELS &amp; MODULES SHALL NOT BE BELOW AN EMERGENCY ESCAPE AND RESCUE OPENING WITHIN 36". (R324.6.3)</li> </ol>
<ol style="list-style-type: none"> <li>APPLICANT IS RESPONSIBLE TO PROVIDE SITE PLAN (PLOT PLAN) TO THE TOWN FOR REVIEW AND APPROVAL.</li> <li>AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY CONSTRUCTION, RECONSTRUCTION, OR CLOSURE OR THE ROADWAY, SIDEWALK OR RIGHT OF WAY. APPLICANT SHALL CONTACT ENGINEERING DEPARTMENT TO PROCESS.</li> <li>SITE EXCAVATION AND GRADING SHALL COMPLY WITH PARADISE MUNICIPAL CODE 15.02.100 SECTIONS J101.1 THRU J110.4.</li> <li>SOIL REPORT REQUIREMENT: IF A SOILS REPORT IS REQUIRED THE GEOTECHNICAL INVESTIGATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 1803.2 AND REPORTED IN ACCORDANCE WITH SECTION 18.3.6, CBC. THE GEOTECHNICAL ENGINEER OF RECORD SHALL REVIEW THE TOWN APPROVED PLANS FOR GENERAL CONFORMANCE WITH THE SOIL REPORT; OTHERWISE, AN ALTERNATE FOUNDATION PLAN DESIGNED BY A CALIFORNIA REGISTERED CIVIL ENGINEER IS REQUIRED</li> <li>SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE TOWN ENGINEER THAT SHOW SITE GRADING AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY ENFORCED BY THE TOWN ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPT. SLOPE DRAINAGE 6" WITHIN THE FIRST 10FT. FROM THE FOUNDATION WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10FT DISTANCE, A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES SHALL ALSO BE SLOPED A MINIMUM OF 2 PERCENT FOR 10FT AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY. (CRC R401.3)</li> <li>LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS.</li> <li>PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASIN. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2.</li> </ol>	<p style="text-align: center;"><b>WALL AND WOOD FRAME NOTES</b></p> <ol style="list-style-type: none"> <li>STUCCO SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 4 INCHES AND 2 INCHES TO PAVED SURFACES WITH AN APPROVED WEEP SCREED. (CRC R703.7.2.1) MASONRY STONE VENEER SHALL BE FLASHED BENEATH THE FIRST COURSE OF MASONRY AND PROVIDED WITH WEEP HOLES IMMEDIATELY ABOVE THE FLASHING. (CRC R703.8.5 AND R703.8.6)</li> <li>FASTENERS AND CONNECTIONS (NAILS, ANCHORS BOLTS ECT) IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (CRC R317.3, CBC 2304.10.5.1)</li> <li>ANCHOR BOLTS SHALL INCLUDE STEEL PLATE WASHERS A MIN. OF 0.229" X 3" X 3" IN SIZE, BETWEEN SILL PLATE AND NUT. (CRC R602.11.1, CBC 2308.3.2 ACCEPTANCE. ALTERNATIVE METHOD USE SDPWS 4.3.6.4.3)</li> <li>WEATHER EXPOSED GLU-LAM, BEAMS AND POSTS SHALL BE PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY (CRC R317.1.3 &amp; 5)</li> <li>COLUMNS EXPOSED TO THE WEATHER OR IN BASEMENTS WHEN SUPPORTED ON CONCRETE PIER OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE PIER/PEDESTALS PROJECT 1" ABOVE CONCRETE OR 6" ABOVE EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. (CRC R317.1)</li> <li>COLUMNS IN ENCLOSED CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE COLUMN IS SUPPORTED BY A CONCRETE PIER OR METAL PEDESTAL OF A HEIGHT 8" OR MORE AND THE EARTH IS COVERED BY AN IMPERVIOUS MOISTURE BARRIER. (CRC R317.1)</li> <li>DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING NOT LESS THAN 1" ABOVE A CONCRETE FLOOR OR 6" ABOVE EXPOSED EARTH. (CRC R317.1)</li> <li>SPECIFY POST TO BEAM CONNECTIONS. POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. (CRC R502.9 &amp; CBC 2304.10.7)</li> <li>ALL FASTENERS USED FOR ATTACHMENT OF SIDING &amp; INTO PRESSURE TREATED LUMBER SHALL BE OF A CORROSION RESISTANT TYPE. (CRC R317.3)</li> <li>FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS, VERTICALLY AT CEILING/FLOOR LEVELS, &amp; HORIZONTALLY AT 10FT. INTERVALS. FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS &amp; IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGERS. (CRC R302.11)</li> </ol>	<p style="text-align: center;"><b>ROOF NOTES</b></p> <ol style="list-style-type: none"> <li>FLASHINGS SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.</li> <li>UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF ROOF.</li> <li>ROOF ASSEMBLIES SHALL BE OF MATERIALS THAT ARE COMPATIBLE WITH EACH OTHER AND WITH THE BUILDING OR STRUCTURE TO WHICH THE MATERIALS ARE APPLIED.</li> <li>BUILDING-INTEGRATED PHOTOVOLTAIC PRODUCTS INSTALLED AS THE ROOF COVERING SHALL BE TESTED, LISTED AND LABELED FOR FIRE CLASSIFICATION IN ACCORDANCE WITH SECTION R902.1 THROUGH R902.1.4.</li> <li>ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (17-PERCENT SLOPE) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.</li> <li>CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) OR GREATER. FOR ROOF SLOPES FROM TWO AND ONE-HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33-PERCENT SLOPE), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.3.3.</li> </ol>	<p style="text-align: center;"><b>GREEN BUILDING NOTES</b></p> <ol style="list-style-type: none"> <li>PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2): <ul style="list-style-type: none"> <li>RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON SITE</li> <li>WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.</li> </ul> </li> <li>ALL NEW RESIDENTIAL CONSTRUCTION WITH ATTACHED PRIVATE GARAGES SHALL HAVE THE FOLLOWING FOR ELECTRIC VEHICLE (EV) CHARGING STATIONS (CGBSC 4.106.4): <ul style="list-style-type: none"> <li>INSTALL A MINIMUM 1-INCH CONDUIT CAPABLE OF SUPPLYING A 208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR EV CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL.</li> <li>THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE DEDICATED OVERCURRENT PROTECTION SPACE SHALL BE LABELED "EV CAPABLE".</li> </ul> </li> <li>MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 1.8 GPM OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.3.2)</li> <li>AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410.1) <ul style="list-style-type: none"> <li>DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF THE BUILDING</li> <li>OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT, APPLIANCES, ROOF/YARD DRAIN- AGE, IRRIGATION SYSTEMS, ETC.</li> <li>INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS</li> <li>PUBLIC TRANSPORTATION AND CARPOOL OPTIONS</li> <li>MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT</li> <li>INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES</li> <li>STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION</li> <li>A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS THAT WERE REQUIRED (IF ANY)</li> </ul> </li> <li>THE PROJECT SHALL MEET MINIMUM POLLUTANT CONTROL REQUIREMENTS FOR ADHESIVES, SEAL-ANTS, CAULKS, PAINTS, CARPET, RESILIENT FLOORING SYSTEMS, ETC. (CGBSC 4.504.2.1)</li> <li>DUCT OPENINGS RELATED TO HVAC SYSTEMS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)</li> </ol> <p>INFORMATION IDENTIFYING THE LOCATION OF THE REINFORCEMENT SHALL BE PLACED IN THE OPERATIONS AND MAINTENANCE MANUAL. (CRC R327.1.1)</p> <p>* EFFECTIVE JULY 1ST, 2024, AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32 INCHES MEASURED WITH THE DOOR OPEN AT A 90-DEGREE ANGLE. (CRC R327.1.3)</p> <p>DOORBELL BUTTONS SHALL BE INSTALLED NOT MORE THAN 48" ABOVE THE FINISHED FLOOR MEASURED TO THE TOP OF THE BUTTON. (CRC R327.1.4)</p>	

project

**Town of Paradise  
Pre-Approved  
ADU Program**

revisions

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description

**General  
Notes**

date                    ## Month 20##

project no.            20##-#\_xxxxxx

drawn by              xxx/xxx

sheet no.              **G0.2**



PLUMBING / MECHANICAL NOTES	PLUMBING / MECHANICAL NOTES (CONT'D)	ELECTRICAL NOTES (CONTINUED)	ELECTRICAL NOTES (CONTINUED)	TITLE 24 ENERGY
<p>1. GAS VENTS PASSING THROUGH AN INSULATED ASSEMBLY SHALL HAVE A METAL INSULATION SHIELD A MINIMUM 2" ABOVE INSULATION. (CMC 802.6.1.1)</p> <p>2. WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQ. IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3.)</p> <p>3. ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MIN. CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BLDG. (CRC R303.3, CAL GREEN 4.505.1, CBC 1203.5.2.1, CMC 402.5)</p> <p>4. SUPPLY AND RETURN AIR DUCTS TO BE INSULATED AT A MIN. OF R-6. (CAL ENERGY CODE TABLE 150.1-A)</p> <p>5. WHERE WHOLE HOUSE FANS ARE USED IN BATHROOM AREAS, THE FAN MUST RUN CONTINUOUSLY AND SHALL NOT BE TIED TO HUMIDITY CONTROL SENSOR. (CAL GREEN 4.506.1)</p> <p>6. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE MIN. 3 FEET FROM PROPERTY LINE OR OPENINGS INTO BLDG., AND 10' FROM A FORCED AIR INLET, 3" TO OPENINGS INTO THE BUILDING AND SHALL NOT DISCHARGE ON TO A PUBLIC WAY. (CMC 502.2.1)</p> <p>7. ALL HOSE BIBS ARE TO HAVE VACUUM BREAKERS. (CPC603.5.7)</p> <p>8. THE MAX. AMOUNT OF WATER CLOSETS ON A 3" HORIZONTAL DRAINAGE SYSTEM LINE IS 3 (CPC TABLE 703.2)</p> <p>9. THE MAX. AMOUNT OF WATER CLOSETS ON A 3" VERTICAL DRAINAGE LINE IS 4. (CPC TABLE 703.2)</p> <p>10. A 3-INCH GRAVITY DRAIN SHALL BE PROVIDED AT THE LOW POINT OF THE SPACE, INSTALLED WHICH PROVIDES 1/4-INCH PER FOOT GRADE AND TERMINATE AT AN EXTERIOR POINT OF THE BUILDING PROTECTED FROM BLOCKAGE. THE OPENING SHALL BE SCREENED WITH A CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4-INCH IN DIMENSION. LENGTHS OF THE GRAVITY DRAINS OVER 10 FEET IN LENGTH SHALL BE FIRST APPROVED BY THE BUILDING OFFICIAL. (L-V 8.8)</p> <p>11. SHOW LOCATION AND SIZE OF THE WATER HEATER ON PLANS. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER. (CPC 504.6) PROVIDE SEISMIC STRAPPING IN THE UPPER &amp; LOWER THIRD OF THE WATER HEATER A MINIMUM OF 4" ABOVE CONTROLS. (CPC 507.2) THE WATER HEATER SHALL BE OF AN INSTANTANEOUS TYPE, OR THE FOLLOWING SHALL BE PROVIDED (NEW CONSTRUCTION ONLY) (CEC 150.(N)):</p> <ul style="list-style-type: none"> <li>A 120V RECEPTACLES PROVIDED WITHIN 3FT</li> <li>A CATEGORY III OR IV VENT, OR A STRAIGHT (WITHOUT BENDS) TYPE B VENT</li> <li>CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE WATER HEATER</li> <li>GAS SUPPLY LINE WITH A MINIMUM 200,000 BTU/HR DEDICATED CAPACITY FOR THE WATER HEATER</li> <li>A DEDICATED 120/240, 3 WIRE CIRCUIT WITH 10AWG WIRE TO A RECEPTACLE OUT-LET WITHIN 3' OF THE WATER HEATER. THE UNUSED CONDUCTOR SHALL BE ELECTRICALLY ISOLATED AND HAVE A RESERVED CIRCUIT BREAKER SPACE. BOTH ENDS OF THE CONDUCTOR SHALL BE LABELED "SPARE" AND BE ELECTRICALLY ISOLATED. A RESERVE SINGLE-POLE CIRCUIT BREAKER SPACE NEAR THIS CIRCUIT LABELED "FUTURE 240V USE." (CEC 150.0.(N))</li> </ul>	<p>26. KITCHEN SINKS REQUIRE A CLEANOUT ABOVE THE FLOOR LEVEL OF THE LOWEST FLOOR OF THE BUILDING.</p> <p>27. ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. (CPC 906.1) PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT, .04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. (CPC 605.12)</p> <p>28. UNDERGROUND WATER SUPPLY LINES SHALL HAVE A 14 AWG BLUE TRACER WIRE. (CPC 604.10.1)</p> <p>29. THE ENTIRE FLOOR SPACE IN A ROOM CONTAINING A SHOWER WITHOUT THRESHOLDS SHALL BE CONSIDERED A "WET LOCATION" WHEN USING THE CRC, CBC, AND THE CEC. (CPC 408.5)</p> <p>30. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES (32" BY 32") AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70" ABOVE THE SHOWER DRAIN OUTLET. (CPC 408.6) PROVIDE CURTAIN ROD OR DOOR A MINIMUM OF 22" IN WIDTH. (CPC 408.5) SHOWERS AND TUBS WITH SHOWERS REQUIRE A NON- ABSORBENT SURFACE UP TO 6' ABOVE THE FLOOR. (CRC R307.2) MINIMUM SHOWER RECEPTOR SLOPE IS 1/8" PER FOOT. (408.5)</p> <p>31. ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.8KBTU/HR AND ABOVE. VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES. EACH VALVE WILL NEED A HOSE BIB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (CEC 110.3(C)6) 13. WATER CLOSET SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" IN WIDTH (15" ON EACH SIDE) AND 24" MINIMUM CLEARANCE IN FRONT. (CPC 402.5)</p> <p>32. INDICATE ON THE PLANS THAT THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM A BATHTUB OR WHIRLPOOL BATHTUB FILLER SHALL NOT EXCEED 120 DEGREES F. (CPC 408.3.2)</p> <p>33. PROVIDE ANTI-SIPHON VALVES ON ALL HOSE BIBS. (CPC 603.5.7)</p> <p>34. FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER. (CPC 1007)</p> <p>35. CLEARLY LABEL ON THE PLANS THE MAXIMUM WATER FLOW RATES PER THE (CGBSC 4.303.1):</p> <ul style="list-style-type: none"> <li>WATER CLOSETS: 1.28GPF</li> <li>URINALS: .125GPF</li> <li>KITCHEN FAUCETS: 1.8GPM @ 60PSI</li> <li>LAVATORY FAUCETS: 1.2GPM @ 60PSI</li> </ul> <p>36. WATER CLOSET SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" IN WIDTH (15" ON EACH SIDE) AND 24" MINIMUM CLEARANCE IN FRONT. (CPC 402.5)</p> <p>37. A MINIMUM 110 CFM HOOD OVER ELECTRICAL RANGE OR MINIMUM 180 CFM HOOD OVER NATURAL GAS RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED.</p>	<p>9. SMOKE ALARMS SHALL BE INSTALLED (CRC (R314.3): IN EACH ROOM USED FOR SLEEPING PURPOSES. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. IN EACH STORY, INCLUDING BASEMENTS. AT THE TOP OF STAIRWAYS BETWEEN HABITABLE FLOORS WHERE AN INTERVENING DOOR OR OBSTRUCTION PREVENTS SMOKE FROM REACHING THE SMOKE DETECTOR. SHALL NOT BE INSTALLED WITHIN 20FT HORIZONTALLY OF COOKING APPLIANCES AND NO CLOSER THAN 3FT TO MECHANICAL REGISTERS, CEILING FANS AND BATHROOM DOORS WITH A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE DETECTOR (314.3(4)). ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS. (MAY BE BATTERY OPERATED.) ALL SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YEAR SEALED BATTERY). (CRC R314.4 &amp; R315.1) SMOKE DETECTORS WITHIN 10 FEET TO 20 FEET OF THE STOVE SHALL BE IONIZATION TYPE WITH ALARM SILENCING SWITCH. (CRC R314.3.3)</p> <p>10. CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS WITH FUEL-BURNING APPLI- ANCES OR WITH ATTACHED GARAGES (CRC R315.3):</p> <ul style="list-style-type: none"> <li>OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS</li> <li>ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS</li> </ul> <p>ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED)</p> <p>11. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.</p> <p>12. ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CENC 150(K) 2B)</p> <p>13. A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED IN BATHROOM CONTROLLED BY AN OCCUPANT OR VACANCY SENSOR PROVIDING AUTOMATIC -OFF FUNCTIONALLY (CENC 150.0(K)21)</p> <p>14. LAUNDRY AREA SHALL AT LEAST 1-20 AMP DEDICATED BRANCH CIRCUIT (CEC 210.11(C)2)</p> <p>15. PROVIDE A DEDICATED CIRCUIT FOR THE A.C./FAU (CEC 422.12)</p> <p>16. A DEDICATED 125V, 20AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRICAL PANEL WITH A 220-240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS (CENC 150.0(N)1A) PER CEC 2022 150.0(N).1.A.: IF DESIGNATED SPACE IS WITHIN 3 FEET FROM THE WATER HEATER, THEN THIS SPACE SHALL INCLUDE THE FOLLOWING: A DEDICATED 125 VOLT, 20 AMP ELECTRICAL RECEPTACLE THAT IS CONNECTED TO THE ELECTRIC PANEL WITH A 120/240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS; AND</p> <ul style="list-style-type: none"> <li>BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED; AND</li> <li>A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AND LABELED WITH THE WORDS "FUTURE 240V USE"; AND</li> <li>A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE.</li> </ul> <p>17. ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX OR LESS THAN 15-INCHES MEASURED FROM BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR (CRC R327.1.2)</p> <p>18. DOORBELL BUTTON MUST BE INSTALLED NO MORE THAN 48 INCHES FROM EXTERIOR FLOOR.</p> <p>19. LUMINAIRE EFFICACY - ALL INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS OF 2022 BUILDING ENERGY EFFICIENCY STANDARDS TABLE 150.0-A PER SECTION 150.0(K).</p> <p>20. NO ELECTRICAL PANELS IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" INCHES IN FRONT OF PANELS, 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM. (CEC 110.26)</p> <p>21. PROVIDE A MINIMUM 3 LUG INTERSYSTEM BONDING BUSBAR AT THE MAIN ELECTRICAL SERVICE. (CEC 250.94)</p> <p>22. A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. (CEC 250.52(A) (3)) BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC 250.104)</p> <p>23. PROVIDE AT LEAST 1 OUTLET IN BASEMENTS, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE OUTSIDE OF EACH BATHROOM BASIN. (CEC 210.52 (D), (F) &amp; (G))</p> <p>25. ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52(E))</p> <p>24. AT LEAST ONE WALL SWITCHED LIGHTING OUTLET OR FIXTURE SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES AND DETACHED GARAGES WITH ELECTRICAL POWER, EQUIPMENT SPACES (ATTICS, BASEMENTS, ETC). (CEC 210.70)</p> <p>25. ALL 15/20 AMPERE RECEPTACLES IN WET LOCATIONS SHALL HAVE IN-USE (BUBBLE) COVERS IN- STALLED. ALL RECEPTACLES IN WET LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE. (CEC 406.9(B)11)</p>	<p>25. KITCHENS, DINING ROOMS, PANTRIES, BREAKFAST NOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS. KITCHEN, PANTRY, BREAKFAST NOOKS, DINING ROOMS, WORK SURFACES AND SIMILAR AREAS COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" INCHES OR WIDER, NOT GREATER THAN 4" O.C., WITHIN 24" INCHES OF THE END OF ANY COUNTER SPACE AND NOT HIGHER THAN 20" ABOVE COUNTER. (CEC 210.52 (C)) ISLAND COUNTER SPACES SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THAN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS. (CEC FIGURE 210.52(C)11)</p> <p>26. RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS, CEILING FANS, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10(D))</p> <p>27. ALL LIGHTING/FAN FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLI- CATION. (CEC 410.10)</p>	<p>1. ALL DUCTS IN CONDITIONED SPACES MUST INCLUDE R-4.2 INSULATION. (150.1(C)9) MINIMUM HEATING AND COOLING FILTER RATINGS SHALL BE MRV 13 (150.0(M)12)</p> <p>2. ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS. SEE PLUMBING NOTE 31 ON THIS SHEET</p> <p>3. ENERGY STORAGE SYSTEM (ESS) READY.</p> <ul style="list-style-type: none"> <li>ENERGY STORAGE SYSTEMS SHALL ONLY BE INSTALLED IN DETACHED GARAGES AND ACCESSORY STRUCTURES, ATTACHED GARAGES, OUTDOOR NOT LESS THAN 3' FROM DOOR AND WINDOWS AND ENCLOSED UTILITY CLOSETS, BASEMENTS, STORAGE OR UTILITY CLOSETS WITHIN DWELLING UNITS WITH FINISHED OR NONCOMBUSTIBLE WALLS AND CEILING. (CRC R328.4)</li> <li>INDIVIDUAL ESS UNITS SHALL HAVE A MAX RATING OF 20 KWH. THE AGGREGATE RATING OF THE ESS SHALL NOT EXCEED 40 KWH WITHIN UTILITY CLOSETS, BASEMENTS AND STORAGE OR UTILITY SPACES, 80 KWH IN ATTACHED OR DETACHED GARAGES OR DETACHED ACCESSORY STRUCTURES, 80 KWH ON EXTERIOR WALLS AND 80 KWH OUTDOORS ON THE GROUND. (CRC R328.5)</li> <li>ROOMS AND AREAS WITHIN STRUCTURES IN WHICH ESS ARE INSTALLED SHALL BE PROTECTED BY SMOKE ALARMS. A HEAT DETECTOR SHALL BE INSTALLED IN LOCATIONS WITHIN STRUCTURES WHERE SMOKE ALARMS CANNOT BE INSTALLED BASED ON THEIR LISTING. (CRC R328.7)</li> <li>ESS INSTALLED IN LOCATIONS SUBJECT TO VEHICLE DAMAGE SHALL BE PROVIDED WITH IMPACT PROTECTION. (CRC R328.8)</li> <li>SEE ELECTRIC READY NOTES ON THIS SHEET FOR ADDITIONAL REQUIREMENTS.</li> </ul> <p>4. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS. SPACE SHALL BE RESERVED PER ELECTRIC READY NOTES ON THIS SHEET FOR REQUIREMENTS</p> <p>5. HEAT PUMP SPACE HEATER READY. SEE ELECTRIC READY NOTES ON THIS SHEET FOR REQUIREMENTS</p> <p>6. ELECTRIC COOKTOP READY. SEE ELECTRIC READY NOTES ON THIS SHEET FOR REQUIREMENTS</p> <p>7. ELECTRICAL CLOTHES DRYER READY. SEE ELECTRIC READY NOTES ON THIS SHEET FOR REQUIREMENTS</p> <p>8. ALL LUMINAIRES MUST BE HIGH EFFICACY (150.0(K)1A)</p> <ul style="list-style-type: none"> <li>LUMINAIRES RECESSED IN INSULATED CEILINGS MUST MEET FIVE REQUIREMENTS (150.0(K) 1C):</li> <li>THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC).</li> <li>THEY MUST BE CERTIFIED AS AIRTIGHT (AT) CONSTRUCTION.</li> <li>THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT FLOW OF HEATED OR COOLED AIR OUT OF LIVING AREAS AND INTO THE CEILING CAVITY.</li> <li>THEY MAY NOT CONTAIN A SCREW BASE SOCKETS</li> <li>THEY SHALL CONTAIN A JAB COMPLIANT LIGHT SOURCE</li> </ul> <p>9. IN BATHROOMS, GARAGES, WALK-IN CLOSET, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ON LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR OR OCCUPANT SENSOR PROVIDED THE OCCUPANT SENSOR IS INITIALLY PROGRAMMED LIKE A VACANCY SENSOR (MANUAL-ON OPERATION). (150.0(K)2)</p> <p>10. LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT LIMITED TO LIVING ROOMS, DINING ROOMS, KITCHENS AND BEDROOMS, SHALL HAVE READILY ACCESSIBLE DIMMING CONTROLS. (CALIFORNIA ENERGY CODE 150(K) 2F)</p> <p>11. JOINT APPENDIX A (JA8) CERTIFIED LAMPS SHALL BE CONSIDERED HIGH EFFICACY. JA8 COMPLI- ANT LIGHT SOURCES SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. (EXCEPTION: &lt;70SF CLOSETS AND HALLWAY) (150.0(K)2K)</p> <p>12. UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (150.0(K)2L)</p> <p>13. ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY, BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND HAVE ONE OF THE FOLLOWING CONTROLS (THE MANUAL SWITCH SHALL NOT OVERRIDE THE AUTOMATIC CONTROL DEVICE): (150.0(K)3A)</p> <ul style="list-style-type: none"> <li>PHOTO-CONTROL AND MOTION SENSOR</li> <li>PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL</li> <li>ASTRONOMICAL TIME CLOCK CONTROL TURNING LIGHTS OFF DURING THE DAY</li> </ul> <p>ALL HIGH EFFICACY LIGHT FIXTURES SHALL BE CERTIFIED AS "HIGH-EFFICACY" LIGHT FIXTURES BY THE CALIFORNIA ENERGY COMMISSION.</p> <p>15. CONTRACTOR SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE GIVING THE LAMPS USED IN THE LUMINAIRES INSTALLED. (10-103(B))</p> <p>16. THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR SHALL NOT BE GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL. (150(K)1B)</p> <p>17. BUILDING SHALL MEET THE MINIMUM VENTILATION AND ACCEPTABLE INDOOR AIR QUALITY REQUIREMENTS PER ASHRAE STANDARD 62.2. AND IS SUBJECT TO HERS TESTING. THE FOLLOWING LABEL MUST BE ATTACHED TO THE FAN SWITCH: "TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED, UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION." (CALIFORNIA ENERGY CODE 150.0(O))</p>
<p style="text-align: center;"><b>ELECTRIC READY NOTES: 2022 ENERGY EFFICIENCY STANDARDS 150.0</b></p>				
<p>(S) ENERGY STORAGE SYSTEMS (ESS) READY. ALL SINGLE-FAMILY RESIDENCES THAT INCLUDE ONE OR TWO DWELLING UNITS SHALL MEET THE FOLLOWING. ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE:</p> <p>1. AT LEAST ONE OF THE FOLLOWING SHALL BE PROVIDED:</p> <p>A. ESS READY INTERCONNECTION EQUIPMENT WITH A MINIMUM BACKED-UP CAPACITY OF 60 AMPS AND A MINIMUM OF FOUR ESS-SUPPLIED BRANCH CIRCUITS, OR B. A DEDICATED RACEWAY FROM THE MAIN SERVICE TO A PANELBOARD (SUBPANEL) THAT SUPPLIES THE FOLLOWING BRANCH CIRCUITS: REFRIGERATOR, LIGHTING CIRCUIT NEAR PRIMARY EGRESS DOOR, SLEEPING ROOM RECEPTACLE AND ONE ADDITIONAL SECTION 150.0(S)2). ALL BRANCH CIRCUITS ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN ONE INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS."</p> <p>2. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS, AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.</p> <p>3. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS.</p> <p>4. SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE.</p> <p>(T) HEAT PUMP SPACE HEATER READY. SYSTEMS USING GAS OR PROPANE FURNACE TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:</p> <p>1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE FURNACE AND ACCESSIBLE TO THE FURNACE WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.</p> <p>2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE HEAT PUMP SPACE HEATER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."</p> <p>(U) ELECTRIC COOKTOP READY. SYSTEMS USING GAS OR PROPANE COOKTOP TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:</p> <p>1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE COOKTOP AND ACCESSIBLE TO THE COOKTOP WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 50 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.</p> <p>2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC COOKTOP INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."</p> <p>(V) ELECTRIC CLOTHES DRYER READY. CLOTHES DRYER LOCATIONS WITH GAS OR PROPANE PLUMBING TO SERVE INDIVIDUAL DWELLING UNITS SHALL INCLUDE THE FOLLOWING:</p> <p>1. A DEDICATED 240 VOLT BRANCH CIRCUIT WIRING SHALL BE INSTALLED WITHIN 3 FEET FROM THE CLOTHES DRYER LOCATION AND ACCESSIBLE TO THE CLOTHES DRYER LOCATION WITH NO OBSTRUCTIONS. THE BRANCH CIRCUIT CONDUCTORS SHALL BE RATED AT 30 AMPS MINIMUM. THE BLANK COVER SHALL BE IDENTIFIED AS "240V READY." ALL ELECTRICAL COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.</p> <p>2. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE ELECTRIC CLOTHES DRYER INSTALLATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE 240V USE."</p>				
<p style="text-align: center;"><b>ELECTRICAL NOTES</b></p>				
<p>12. DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER. (CPC 609.12)</p> <p>13. ISOLATION VALVES ARE REQ. FOR TANKLESS WATER HEATERS ON THE HOT AND COLD SUPPLY LINES WITH HOSE BIBS ON EACH VALVE, TO FLUSH THE HEAT EXCHANGER. (CAL ENERGY CODE 110.3(7).</p> <p>14. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS. EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE COVERED WITH A CORROSION RESISTANT SCREEN 1/4"-1/2" IN OPENING SIZE (NOT REQUIRED FOR CLOTHES DRYERS). (CMC 502.1)</p> <p>15. ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. (CENC 150(K) 2B)</p> <p>16. PLUMBING FIXTURES AND FITTINGS INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQ. OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.</p> <p>17. PLUMBING FIXTURES AND FITTINGS REQ. IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE THE APPLICABLE REFERENCE STANDARDS.</p> <p>18. EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50CFM) WITH AN INTEGRAL HUMIDISTAT INSTALLED. (CRC R303.3.1)</p> <p>19. DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1</p> <p>20. FUTURE WATER HEATERS AND PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF SECTION 2-5314 AND TABLE 2-53G, TITLE 24, C.A.C.</p> <p>21. PROVIDE COMBUSTION AIR FOR ALL GAS FIRED APPLIANCES PER CMC CHAPTER 7.</p> <p>22. GAS WATER HEATER AND FURNACE ARE NOT ALLOWED IN AREAS OPENING INTO BATHROOMS, CLOSETS OR BEDROOMS UNLESS INSTALLED IN A CLOSET EQUIPPED WITH A LISTED GASKETED DOOR ASSEMBLY AND A LISTED SELF-CLOSING DEVICE WITH ALL COMBUSTION AIR OBTAINED FROM THE OUTDOORS. (CPC 504)</p> <p>23. VENT DRYER TO OUTSIDE OF BUILDING. VENT LENGTH SHALL BE 14 FT. MAXIMUM. SHALL TERMINATE A MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING. (CMC 504.4.2)</p> <p>24. PROVIDE MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR CLOTHES DRYERS INSTALLED IN CLOS- ETS. (CMC 504.4.1(1))</p> <p>25. HEATING SYSTEM IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT. ABOVE FLOOR LEVEL AND 2FT FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. (CRC R303.10)</p>	<p>1. ALL 15/20 AMPERE RECEPTACLES INSTALLED PER CEC 210.52 INCLUDING ATTACHED AND DETACHED GARAGES AND ACCESSORY BUILDINGS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12) RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH CEC ARTICLE 210.52, &amp; CRC SECTION R327.1.2. TAMPER RESISTANT RECEPTACLE OUTLET LOCATIONS SHALL COMPLY W/ NEC ART. 210.52 AND 550.13 (I.E. ALL RECEPTACLES IN A DWELLING).</p> <p>2. ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN ROOMS DESCRIBED IN NEC 210.12(A): FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOM OR SIMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12). THERE ARE TO BE A MINIMUM OF 2 SMALL APPLIANCE BRANCH CIRCUITS WITHIN THESE AREAS CEC 210.11(C)1) BATHROOM CIRCUITING SHALL BE EITHER:</p> <p>a) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM.</p> <p>b) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS PER NEC ART. 210-11(c)3.</p> <p>4. GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUN- TERTOP SURFACES, DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL. IN UNFINISHED BASEMENTS, CRAWL SPACE LIGHTING OUTLETS, IN EXTERIOR OUTLETS, WITHIN 6' OF A LAUNDRY/UTILITY/WET BAR SINKS, INDOOR DAMP LOCATIONS, MUD ROOMS, FINISHED BASEMENTS, LAUNDRY AREAS AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE DEVICE OR GARAGE DOOR OPENER. (CEC 210.8)</p> <p>5. WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE) NEC 406.4(D)(6)</p> <p>6. PER LIGHTING MEASURES 150(K)4 N-T-24. THE BEDROOMS, HALLWAY, LIVING ROOM AND OFFICE ARE REQUIRED TO HAVE ANY INSTALLED FIXTURE TO BE ON A DIMMER SWITCH OR THE FIXTURE NEEDS TO BE HIGH EFFICACY.</p> <p>7. OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.</p> <p>8. RECEPTACLES SHALL BE INSTALLED AT 12" O.C. MAXIMUM IN WALLS STARTING AT 6' MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS LONGER THAN 10 FT SHALL HAVE A RECEPTACLE IN HALLWAYS. (CEC 210.52(A))</p> <p>8.1. SURGE PROTECTION DEVICE (SPD) REQUIRED FOR ALL SERVICES SUPPLYING DWELLING UNITS. THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD. [CEC 230.67]</p>			

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project

**Town of Paradise  
Pre-Approved  
ADU Program**

revisions

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description

**General  
Notes**

date ## Month 20##

project no. 20##\_xxxxxx

drawn by xxx/xxx

sheet no. **G0.3**



WILDLAND-URBAN INTERFACE CONFORMANCE CHECKLIST FOR STICK BUILT HOMES	PARADISE MUNICIPAL CODE	FIRE SPRINKLER NOTES
	<p style="text-align: center;"><b>COOP</b></p> <p><b>PMC 8.58.060 DEFENSIBLE SPACE/HAZARDOUS FUEL MANAGEMENT REQUIREMENTS</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Maintain immediately around and adjacent to any building or structure free of combustible materials. Only noncombustible material shall be allowed within five (5) feet of any building or structure. No vegetation shall exist within or overhang within five (5) feet of the structure. Any overhanging limbs or branches shall be removed. All exterior walls shall have a six (6) inch noncombustible vertical clearance from grade.</li> <li><input type="checkbox"/> All unattached accessory structures and outbuildings shall be a minimum of ten (10) feet away from the primary dwelling.</li> <li><input type="checkbox"/> Remove or prune flammable plants and shrubs near windows and under eave vents (a recommended no-planting zone). Combustible materials shall not be stored under decks and the area under decks shall be maintained free of vegetative material. Decks or porches four (4) feet or less above the grade shall be fully enclosed to reduce the accumulation of debris with noncombustible wall material. Noncombustible, corrosion-resistant mesh material with openings not to exceed one-eighth (1/8) inch may be used.</li> <li><input type="checkbox"/> Fencing material constructed of combustible material shall not be within five (5) feet from any structure. All fencing shall be a single line; back-to-back fencing is not permitted in which fences are nominally parallel and spaced less than three (3) feet apart.</li> </ul> <p><b>701A.5 and R337.1.5 VEGETATION MANAGEMENT COMPLIANCE</b> Provide documentation (on plot plan, or landscape plan) of compliance with PRC 4291. We suggest scheduling design/pre-construction meeting with the Fire Marshal to review/clarify what their requirements will be for your particular parcel/project.</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Plans shall specify and demonstrate requirement to maintain fire break:</li> <li><input type="checkbox"/> Remove and clear away all flammable vegetation or combustible growth for 30' from each side of building.</li> <li><input type="checkbox"/> Remove any tree limbs within 10 feet of chimney outlet.</li> <li><input type="checkbox"/> Eliminate any dead wood from trees overhanging building. Maintain the roof to be free of leaves, needles or dead vegetation.</li> <li><input type="checkbox"/> Inspection and written approval by the Fire Marshal shall be obtained prior to final of the building permit (Fire Marshall to sign inspection card).</li> </ul> <p><b>705A and R323.5 ROOFING / 705A.2, R337.5.2 Roof Coverings:</b> Is space proposed between the roof covering and roof decking?  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  If yes, the spaces shall be constructed to prevent the intrusion of flames and embers, and be fire stopped with approved materials, or have one layer of No. 72 ASTM cap sheet installed over the combustible decking. Provide detail for method of compliance, incorporate into plans and provide reference to detail location: DETAILS 1,2,3,5,6,7 ON A5.2</p> <p><b>705A.4, R337.5.4 Roof gutters:</b>  <input checked="" type="checkbox"/> Roof gutters of a non-combustible material shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. Indicate where specification has been incorporated into drawings; KEY NOTE ON ROOF PLAN</p> <p><b>706A.1 and R337.6.3 VENTS</b> 706A.3 Eave or Cornice Vents shall not be installed on the underside of eaves and cornices, unless they resist the intrusion of flame and burning embers into the attic area of the structure.  -If vented roof system is proposed:  <input type="checkbox"/> Plans shall define and detail how attic and/or rafter bays will be vented, i.e. gable end vents, eave vents, ridge vent(s).  <input checked="" type="checkbox"/> Detail/indicate how proposed eave/cornice vents will resist the intrusion of flame and embers into attic/rafter bay area of the structure.  <b>VULCAN TECHNOLOGIES - USE VE/VER (RECTANGULAR OR CIRCULAR)</b></p> <p><b>707A and R337.7.3 EXTERIOR COVERINGS</b> 707A.3, R337.7.3 Exterior walls: Exterior wall coverings or wall assemblies shall comply with one of the following: Check all that apply.  <input checked="" type="checkbox"/> Standard SFM 12-7A-1 (specify product Company Name, Description, Test Protocol and Flame Spread). JAMES HARDIE BUILDING PRODUCTS - CEMPANEL. Listed in SFM Handbook? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (provide test data)  <input checked="" type="checkbox"/> One layer of 5/8" Type X gypsum sheathing applied behind the exterior covering or cladding on the exterior side of the framing</p> <p><b>707A.3.1, R337.7.3.1 EXTERIOR WALL COVERING</b> Exterior wall covering shall extend from the top of the foundation to the roof and terminate at 2-inch nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure.  <input checked="" type="checkbox"/> Specify where notation has been detailed/noted on plans: DETAILS 1,2,3,5,6,7 ON A5.2</p> <p><b>707A.4, R337.7.4 Open roof eaves</b> (Solid wood rafter tails on the exposed underside of open roof eaves having a min. nominal dimension of 2", solid wood blocking installed between rafter tails on the exposed underside of open roof eaves having a minimum nominal dimension of 2", gable end overhangs and roof assembly projections beyond an exterior wall other than at the lower end of the rafter tails, fascia and other architectural trim boards are exempt from requirements). Proposing open roof eaves?  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  If yes, identify roof eave compliance method. The exposed roof deck on the underside of unenclosed roof eaves shall consist of the following:  <b>Check all that apply.</b>  <input checked="" type="checkbox"/> One layer of 5/8" Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck</p> <p><b>707A.6, R337.7.6 Exterior porch ceilings</b> (Except architectural trim boards) The exposed underside of exterior porch ceilings shall be protected by one of the following:  <input type="checkbox"/> Noncombustible material  <input type="checkbox"/> Ignition-resistant material  <input checked="" type="checkbox"/> One layer of 5/8" Type X gypsum sheathing applied behind the exterior covering on the underside of the ceiling.</p> <p><b>708A and R337.8 EXTERIOR WINDOWS AND DOORS</b> Exterior windows; exterior glazed doors; glazed openings within exterior doors; glazed openings within exterior garage doors; exterior structural glass veneer.  <b>708A.2.1, R337.8.2.1 Exterior windows and exterior glazed door assemblies:</b> Exterior windows and exterior glazed door assemblies shall comply with one of the following:  <input checked="" type="checkbox"/> Constructed of multi-pane glazing with a minimum of one tempered pane meeting the requirements of CBC 2406.</p> <p><b>708A.3, R337.8.3 Exterior doors:</b> Exterior doors shall comply with one of the following:  <input checked="" type="checkbox"/> Exterior surface or cladding shall be of noncombustible or ignition-resistant material, or</p> <p><b>708A.3.1, R337.8.3.1 Exterior door glazing:</b> Glazing in exterior doors shall comply with Sections 708A.2.1 and R337.8.2.1.</p>	<p>1. THE ENTIRE ROOF COVERING OF EVERY NEW STRUCTURE SHALL BE A MINIMUM CLASS "A" ROOF COVERING. [PMC 15.02.230]</p> <p>2.(EXISTING) ANY ROOF COVERING MATERIAL APPLIED IN THE ALTERATION, REPAIR OR REPLACEMENT OF THE ROOF OF THE EXISTING STRUCTURE SHALL BE A MINIMUM OF A CLASS "A" ROOF COVERING. THE ENTIRE ROOF COVERING OF EVERY EXISTING STRUCTURE WHERE MORE THAN 50 PERCENT OF THE TOTAL ROOF AREA IS REPLACED WITHIN A ONE-YEAR PERIOD SHALL BE A MINIMUM OF A CLASS "A" ROOF COVERING. [PMC 15.03.080]</p> <p>3.ONE EXTERIOR APPROVED AUDIBLE SPRINKLER WATER FLOW ALARM DEVICE SHALL BE CONNECTED TO EVERY AUTOMATIC FIRE SPRINKLER SYSTEM IN AN APPROVED LOCATION. SUCH DEVICE SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. [PMC 15.03.060]</p> <p>4. FOR THE PURPOSES OF ENFORCING THE PROVISIONS OF THE CALIFORNIA FIRE CODE, CALIFORNIA BUILDING CODE, AND THE CALIFORNIA RESIDENTIAL BUILDING CODE, ANY WORK, ADDITION TO, REMODEL, REPAIR, RENOVATION, OR ALTERATION OF ANY BUILDING(S) OR STRUCTURE(S) SHALL BE CONSIDERED "NEW CONSTRUCTION" WHEN 50 PERCENT OR MORE OF THE EXTERIOR WEIGHT BEARING WALLS ARE REMOVED OR DEMOLISHED. [PMC 15.03.050]</p> <p>5.(ACCESS ROADS) FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION (CFC 503.6), AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. EXCEPTION: RESIDENTIAL DRIVEWAYS SHALL COMPLY WITH TOWN OF PARADISE ROAD STANDARDS. [PMC 15.09.120] FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS AT 75,000 POUNDS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. [PMC 15.09.130] ROADWAY DESIGN FEATURES (SPEED BUMPS, SPEED HUMPS, SPEED CONTROL DIPS, ETC.) WHICH MAY INTERFERE WITH EMERGENCY APPARATUS RESPONSES SHALL NOT BE INSTALLED ON FIRE APPARATUS ACCESS ROADWAYS. [PMC 15.09.140]</p> <p>6.(SLOPES) BERMS, SWALES OR OTHER DEVICES SHALL BE PROVIDED AT THE TOP OF CUT OR FILL SLOPES TO PREVENT SURFACE WATERS FROM OVERFLOWING ONTO AND DAMAGING THE FACE OF THE SLOPE. GUTTERS OR OTHER SPECIAL DRAINAGE CONTROLS SHALL BE PROVIDED WHERE THE PROXIMITY OF RUNOFF FROM BUILDINGS OR OTHER STRUCTURES IS SUCH AS TO POSE A POTENTIAL HAZARD TO SLOPE INTEGRITY. [PMC 15.02.210]</p> <p>7. BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIED AS GROUP U OCCUPANCY AND NOT EXCEEDING 120 SQUARE FEET IN FLOOR AREA, WHEN LOCATED AT LEAST 50 FEET FROM AN APPLICABLE BUILDING (AS WRITTEN IN CURRENT CODE). [PMC 15.03.070] (CRC 337.1.3)</p> <p>8.BUILDINGS OF AN ACCESSORY CHARACTER CLASSIFIED AS GROUP U OCCUPANCY EXCEEDING 120 SQUARE FEET IN SIZE, BASED ON THE EXTERIOR MEASUREMENTS OF THE STRUCTURE, SHALL COMPLY WITH SECTION R337 AND WILDLAND URBAN INTERFACE REQUIREMENTS. [PMC 15.03.070]</p> <p>9.ROOF GUTTERS OF A NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED WITH MEANS OF PREVENTING ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [PMC 15.03.070] (R337.5.4)</p> <p>10. APPLICABILITY. THE USE OF ANY SITE STRUCTURE COMPOSED OF RAILROAD TIE MATERIAL (OR SIMILAR MATERIAL TREATED WITH CREOSOTE AND/OR FLAMMABLE FLUID/LIQUID) SHALL BE UNLAWFUL AND PROHIBITED [PMC17.06.960]</p> <p>11. DEFENSIBLE SPACE/HAZARDOUS FUELS REDUCTION REQUIREMENTS MAINTAIN IMMEDIATELY AROUND AND ADJACENT TO ANY BUILDING OR STRUCTURE FREE OF COMBUSTIBLE MATERIALS SUCH AS FIREWOOD, LUMBER AND RUBBISH. COMBUSTIBLE MATERIALS SHALL NOT BE STORED UNDER DECKS AND THE AREA UNDER DECKS SHALL BE MAINTAINED TO BE FREE OF VEGETATIVE MATERIAL. DECKS OR PORCHES FOUR (4) FEET OR LESS ABOVE THE GRADE SHALL BE FULLY ENCLOSED TO REDUCE THE ACCUMULATION OF DEBRIS WITH NONCOMBUSTIBLE WALL MATERIAL. NONCOMBUSTIBLE, CORROSION-RESISTANT MESH MATERIAL WITH OPENINGS NOT TO EXCEED 1/8" INCH MAY BE USED. FENCING MATERIAL CONSTRUCTED OF COMBUSTIBLE MATERIAL MUST REMAIN 5 FEET AWAY FROM ANY BUILDING OR STRUCTURE. ONLY NONCOMBUSTIBLE MATERIAL SHALL BE ALLOWED WITHIN FIVE (5) FEET OF ANY BUILDING OR STRUCTURE. NO VEGETATION SHALL EXIST WITHIN OR OVERHANG WITHIN 5 FT OF THE STRUCTURE. ANY OVERHANGING LIMBS OR BRANCHES SHALL BE REMOVED. ALL EXTERIOR WALLS SHALL HAVE A SIX-INCH NONCOMBUSTIBLE VERTICAL CLEARANCE FROM GRADE. ALL UNATTACHED ACCESSORY STRUCTURES AND OUTBUILDINGS SHALL BE A MINIMUM OF TEN (10) FEET AWAY FROM THE PRIMARY DWELLING. CLEAN ROOFS AND GUTTERS OF DEAD LEAVES, DEBRIS AND PINE NEEDLES. IN ADDITION TO THE MANAGEMENT OF COMBUSTIBLE MATERIAL AROUND A STRUCTURE OR BUILDING THE FOLLOWING SHALL BE ACCOMPLISHED: 1) REPLACE OR REPAIR ANY LOOSE OR MISSING SHINGLES OR ROOF TILES TO PREVENT EMBER PENETRATION. 2) PROVIDE AND MAINTAIN A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO ANY FIREPLACE, STOVE, OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED OF NONFLAMMABLE MATERIAL WITH OPENINGS OF NOT MORE THAN 1/2 INCH. [PMC 8.58.060]</p> <p>1. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.</p> <p>2. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED PRIOR TO INSTALLATION.</p> <p>3. SECTION 903.2.1 GROUP R AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 9033 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. THIS INCLUDES SINGLE FAMILY DWELLINGS, MULTI-FAMILY DWELLINGS AND ALL RESIDENTIAL CARE FACILITIES REGARDLESS OF OCCUPANT LOAD.</p> <p>4. SECTION 903.2.1.1 ADDITIONS AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH 903.3 MAY BE REQUIRED TO BE INSTALLED THROUGHOUT STRUCTURES WHEN THE ADDITION IS MORE THAN 50% OF THE EXISTING BUILDING OR WHEN THE ALTERED BUILDING WILL EXCEED A FIRE FLOW OF 1,500 GALLONS PER MINUTE AS CALCULATED PER SECTION 507.3. THE FIRE CODE OFFICIAL MAY REQUIRE AN AUTOMATIC SPRINKLER SYSTEM BE INSTALLED IN BUILDINGS WHERE NO WATER MAIN EXISTS TO PROVIDE THE REQUIRED FIRE FLOW OR WHERE A SPECIAL HAZARD EXISTS SUCH AS: POOR ACCESS ROADS, GRADE, BLUFFS AND CANYON RIMS, HAZARDOUS BRUSH AND RESPONSE TIMES GREATER THAN 5 MINUTES BY A FIRE DEPARTMENT.</p> <p>5. SECTION 903.2.1.2 REMODELS OR RECONSTRUCTION AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 MAY BE REQUIRED IF THE SCOPE OF WORK INCLUDES SIGNIFICANT MODIFICATION TO THE INTERIOR AND/OR ROOF OF THE BUILDING, AND THE COST OF THE INSTALLATION DOES NOT EXCEED 15 PERCENT OF THE CONSTRUCTION COSTS OF THE REMODEL.</p> <p>6. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. A MINIMUM 1 INCH WATER SHALL BE INSTALLED.</p> <p>7. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.</p> <p>8. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION. ONLY THE NEW PIPING SHALL BE TESTED.</p> <p><b>WILDLAND URBAN INTERFACE (WUI) NOTES</b></p> <p>1. EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE CONSTRUCTION. (CRC R337.7)</p> <p>2. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2-INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. (CRC R337.7.3.1)</p> <p>3. OPEN/ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UN- DER-FLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CON- STRUCTION REQUIREMENTS. (CRC R337.5-9)</p> <p>4. SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. (CRC R337.5.2)</p> <p>5. INDICATE ON THE PLANS WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 AND AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH. (CRC R337.5.3)</p> <p>6. ALL VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. (CRC R337.6)</p> <p>7. INDICATE ON PLANS EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES OR BE TESTED TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2. (CRC R337.8.2.1)</p> <p>8. OPERABLE SKYLIGHTS SHALL BE PROTECTED BY A NONCOMBUSTIBLE MESH SCREEN 1/8" MAX OPENINGS (R337.8.2.2)</p> <p>9. EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL. MINIMUM 1 3/8 INCH SOLID CORE, MINIMUM 20 MINUTE FIRE RESISTIVE RATING OR SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1. (CRC R337.8.3)</p> <p>10. GARAGE DOOR PERIMETER GAP MAXIMUM 1/8". METAL FLASHING, JAMB AND HEADER OVERLAP, AND WEATHER-STRIPPING MEETING SECTION REQUIREMENTS ARE PERMITTED. (R337.8.4)</p> <p>11. THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL. EXTERIOR FIRE-RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL. (CRC R337.9.2)</p> <p>12. ROOF COVERING SHALL COMPLY WITH 2022 CRC R337.5.2.UNDERLAYMENT SHALL BE ONE LAYER OF OF MINIMUM 72 POUND MINERAL-SURFACED ON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING.</p> <p>13. ROOF GUTTERS SHALL COMPLY WITH 2022 CRC R337.5.4. ROOF GUTTERS SHALL BE PROVIDE WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER</p>

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project

Town of Paradise  
Pre-Approved  
ADU Program

revisions



description

General  
Notes

date ## Month 20##

project no. 20##\_xxxxxx

drawn by xxx/xxx

sheet no. **G0.4**



OSFM LISTED WILDLAND URBAN INTERFACE (WUI) PRODUCTS AND ASSEMBLIES

BARN	CRAFTSMAN	RANCH	COOP
<p align="center"><b>ROOF</b></p> <p><b>Non-Wood Roof Covering/Assemblies for WUI (ASTM E 108, SFM Listing Category 8180)</b></p> <p><b>LISTING No.</b> 8180-2299:0501  <b>CATEGORY:</b> 8180 -- NON-WOOD ROOF COVERING/ASSEMBLIES FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>LISTEE:</b> Metal Sales Manufacturing Corporation                      545 South 3rd Street, Suite 200, Louisville, KY 40202                      Contact: David Stermer (502) 855-4342 Fax (502) 855-4242                      Email: dstermer@metalsales.us.com                      Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System  <b>Deck:</b> 5:12 Slope                      Nominal 7/16" OSB sheathing. Max. 1/8" gap in all joints fastened with 2" nails, 8" OC spacing. Nominal 1/2" Densdeck installed per manufacturer's instructions for joints (staggered from sheathing) fastened with 8 -2" nails per 4x8' sheet.  <b>Underlayment:</b>                      Titanium UDL 30® stapled to face with 3" overlap.  <b>Roof Covering:</b>                      Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System with rib/joint placed 6" from OSB joint fastened with #10-12 (1") pancake head wood screws in the nail strip. Refer to listee's data sheet for additional detailed product description.  <b>RATING:</b> Class A</p>	<p align="center"><b>ROOF</b></p> <p><b>Non-Wood Roof Covering/Assemblies for WUI (ASTM E 108, SFM Listing Category 8180)</b></p> <p><b>LISTING No.</b> 8180-2299:0501  <b>CATEGORY:</b> 8180 -- NON-WOOD ROOF COVERING/ASSEMBLIES FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>LISTEE:</b> Metal Sales Manufacturing Corporation                      545 South 3rd Street, Suite 200, Louisville, KY 40202                      Contact: David Stermer (502) 855-4342 Fax (502) 855-4242                      Email: dstermer@metalsales.us.com                      Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System  <b>Deck:</b> 5:12 Slope                      Nominal 7/16" OSB sheathing. Max. 1/8" gap in all joints fastened with 2" nails, 8" OC spacing. 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Refer to listee's data sheet for additional detailed product description.  <b>RATING:</b> Class A</p>	<p align="center"><b>ROOF</b></p> <p><b>Non-Wood Roof Covering/Assemblies for WUI (ASTM E 108, SFM Listing Category 8180)</b></p> <p><b>LISTING No.</b> 8180-2299:0501  <b>CATEGORY:</b> 8180 -- NON-WOOD ROOF COVERING/ASSEMBLIES FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>LISTEE:</b> Metal Sales Manufacturing Corporation                      545 South 3rd Street, Suite 200, Louisville, KY 40202                      Contact: David Stermer (502) 855-4342 Fax (502) 855-4242                      Email: dstermer@metalsales.us.com                      Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System  <b>Deck:</b> 5:12 Slope                      Nominal 7/16" OSB sheathing. Max. 1/8" gap in all joints fastened with 2" nails, 8" OC spacing. Nominal 1/2" Densdeck installed per manufacturer's instructions for joints (staggered from sheathing) fastened with 8 -2" nails per 4x8' sheet.  <b>Underlayment:</b>                      Titanium UDL 30® stapled to face with 3" overlap.  <b>Roof Covering:</b>                      Metal Sales Image II™ 16" wide 26 GA Standing Seam Metal Roof System with rib/joint placed 6" from OSB joint fastened with #10-12 (1") pancake head wood screws in the nail strip. Refer to listee's data sheet for additional detailed product description.  <b>RATING:</b> Class A</p>
<p align="center"><b>UNDER EAVE</b></p> <p><b>(SFM Standard 12-7A-3, SFM Listing Category 8160)</b></p> <p><b>LISTING No.</b> 8160-2026:0006  <b>CATEGORY:</b> 8160 -- UNDER EAVE FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> JAMES HARDIE BUILDING PRODUCTS, INC.                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com  <b>DESIGN:</b> "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and ¼" thick, under eave material. Refer to the manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Noncombustible</p>	<p align="center"><b>VENTS</b></p> <p><b>(ASTM E 2886/2886M, E 2912, SFM Listing Category 8165)</b></p> <p><b>LISTING No.</b> 8165-2192:0500  <b>CATEGORY:</b> 8165 -- VENTS FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> Vulcan Technologies8 Commercial Blvd, Suite E, Novato, CA 94949                      Contact: Larry Dumm (916) 626-2400 Fax (916) 647-0477                      Email: Larry@newcalmetals.com  <b>DESIGN:</b> Models VER2, VER2M, VER3, VER3M, VER4, VER4M, and VER6M Vulcan Eave Round Vents. Products are in sizes 2", 3", 4", or 6" diameter opening with a 1/4" flange, and a depth of 3/4". The vents are manufactured out of 0.020" aluminum incorporating a 5mm hexagonal aluminum matrix core made of 0.05mm aluminum foil with an intumescent coating underneath the louver cap. Models with "M" contain a stainless steel, type 304 woven, 1/16" opening mesh screen, installed between the louvers and the honeycomb core. Refer to manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Tested in accordance with ASTM E2886</p>	<p align="center"><b>VENTS</b></p> <p><b>(ASTM E 2886/2886M, E 2912, SFM Listing Category 8165)</b></p> <p><b>LISTING No.</b> 8165-2192:0500  <b>CATEGORY:</b> 8165 -- VENTS FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> Vulcan Technologies8 Commercial Blvd, Suite E, Novato, CA 94949                      Contact: Larry Dumm (916) 626-2400 Fax (916) 647-0477                      Email: Larry@newcalmetals.com  <b>DESIGN:</b> Models VER2, VER2M, VER3, VER3M, VER4, VER4M, and VER6M Vulcan Eave Round Vents. Products are in sizes 2", 3", 4", or 6" diameter opening with a 1/4" flange, and a depth of 3/4". The vents are manufactured out of 0.020" aluminum incorporating a 5mm hexagonal aluminum matrix core made of 0.05mm aluminum foil with an intumescent coating underneath the louver cap. Models with "M" contain a stainless steel, type 304 woven, 1/16" opening mesh screen, installed between the louvers and the honeycomb core. Refer to manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Tested in accordance with ASTM E2886</p>	<p align="center"><b>VENTS</b></p> <p><b>(ASTM E 2886/2886M, E 2912, SFM Listing Category 8165)</b></p> <p><b>LISTING No.</b> 8165-2192:0500  <b>CATEGORY:</b> 8165 -- VENTS FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> Vulcan Technologies8 Commercial Blvd, Suite E, Novato, CA 94949                      Contact: Larry Dumm (916) 626-2400 Fax (916) 647-0477                      Email: Larry@newcalmetals.com  <b>DESIGN:</b> Models VER2, VER2M, VER3, VER3M, VER4, VER4M, and VER6M Vulcan Eave Round Vents. Products are in sizes 2", 3", 4", or 6" diameter opening with a 1/4" flange, and a depth of 3/4". The vents are manufactured out of 0.020" aluminum incorporating a 5mm hexagonal aluminum matrix core made of 0.05mm aluminum foil with an intumescent coating underneath the louver cap. Models with "M" contain a stainless steel, type 304 woven, 1/16" opening mesh screen, installed between the louvers and the honeycomb core. Refer to manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Tested in accordance with ASTM E2886</p>
<p align="center"><b>EXTERIOR WALL SIDING</b></p> <p><b>(SFM Standard 12-7A-1, SFM Listing Category 8140)</b></p> <p><b>CATEGORY:</b> 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>JAMES HARDIE BUILDING PRODUCTS, INC.</b>                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com</p> <p><b>LISTING No.</b> 8140-2026:0003  <b>DESIGN:</b> "Cempanel®" vertical siding, fiber-cement, 5/16" thick. Refer to the manufacturer's installation instructions and product data sheets.</p>	<p align="center"><b>UNDER EAVE</b></p> <p><b>(SFM Standard 12-7A-3, SFM Listing Category 8160)</b></p> <p><b>LISTING No.</b> 8160-2026:0006  <b>CATEGORY:</b> 8160 -- UNDER EAVE FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> JAMES HARDIE BUILDING PRODUCTS, INC.                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com  <b>DESIGN:</b> "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and ¼" thick, under eave material. Refer to the manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Noncombustible</p>	<p align="center"><b>UNDER EAVE</b></p> <p><b>(SFM Standard 12-7A-3, SFM Listing Category 8160)</b></p> <p><b>LISTING No.</b> 8160-2026:0006  <b>CATEGORY:</b> 8160 -- UNDER EAVE FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> JAMES HARDIE BUILDING PRODUCTS, INC.                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com  <b>DESIGN:</b> "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and ¼" thick, under eave material. Refer to the manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Noncombustible</p>	<p align="center"><b>UNDER EAVE</b></p> <p><b>(SFM Standard 12-7A-3, SFM Listing Category 8160)</b></p> <p><b>LISTING No.</b> 8160-2026:0006  <b>CATEGORY:</b> 8160 -- UNDER EAVE FOR WILDLAND URBAN INTERFACE (W.U.I.)  <b>LISTEE:</b> JAMES HARDIE BUILDING PRODUCTS, INC.                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com  <b>DESIGN:</b> "CemSoffit®" un-vented, fiber-cement soffit, 3/16" thick and ¼" thick, under eave material. Refer to the manufacturer's installation instructions and product data sheets.  <b>RATING:</b> Noncombustible</p>
<p align="center"><b>EXTERIOR WALL SIDING</b></p> <p><b>(SFM Standard 12-7A-1, SFM Listing Category 8140)</b></p> <p><b>CATEGORY:</b> 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>JAMES HARDIE BUILDING PRODUCTS, INC.</b>                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com</p> <p><b>LISTING No.</b> 8140-2026:0003  <b>DESIGN:</b> "Cempanel®" lap siding, fiber-cement, 5/16" thick. Refer to the manufacturer's installation instructions and product data sheets.</p>	<p align="center"><b>EXTERIOR WALL SIDING</b></p> <p><b>(SFM Standard 12-7A-1, SFM Listing Category 8140)</b></p> <p><b>CATEGORY:</b> 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>JAMES HARDIE BUILDING PRODUCTS, INC.</b>                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com</p> <p><b>LISTING No.</b> 8140-2026:0003  <b>DESIGN:</b> "Cempanel®" lap siding, fiber-cement, 5/16" thick. Refer to the manufacturer's installation instructions and product data sheets.</p>	<p align="center"><b>EXTERIOR WALL SIDING</b></p> <p><b>(SFM Standard 12-7A-1, SFM Listing Category 8140)</b></p> <p><b>CATEGORY:</b> 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>JAMES HARDIE BUILDING PRODUCTS, INC.</b>                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com</p> <p><b>LISTING No.</b> 8140-2026:0003  <b>DESIGN:</b> "Cempanel®" lap siding, fiber-cement, 5/16" thick. Refer to the manufacturer's installation instructions and product data sheets.</p>	<p align="center"><b>EXTERIOR WALL SIDING</b></p> <p><b>(SFM Standard 12-7A-1, SFM Listing Category 8140)</b></p> <p><b>CATEGORY:</b> 8140 -- EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I)  <b>JAMES HARDIE BUILDING PRODUCTS, INC.</b>                      10901 Elm Avenue, Fontana, CA 92337                      Contact: Rathisha Sabaratnam (909) 641-0498 Fax (909) 427-0634                      Email: rathisha.sabaratanam@jhresearchusa.com</p> <p><b>LISTING No.</b> 8140-2026:0003  <b>DESIGN:</b> "Cempanel®" lap siding, fiber-cement, 5/16" thick. Refer to the manufacturer's installation instructions and product data sheets.</p>

<p align="center"><b>DESIGN PATH STUDIO</b>                      architecture + planning                      DESIGNPATHSTUDIO.COM</p> <p>BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:                      1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE TOWN OF PARADISE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF PARADISE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS; DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.                      2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.                      3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.                      4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.</p> <p>project</p> <p>Town of Paradise                      Pre-Approved                      ADU Program</p> <p>revisions</p> <p>△                      △                      △                      △                      △</p> <p>description</p> <p><b>Wildland                      Urban Interface                      Products</b></p> <p>date                    ## Month 20##</p> <p>project no.            20##_xxxxx</p> <p>drawn by              xxx/xxx</p> <p>sheet no.              <b>G0.5</b></p>
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FOR USE ONLY

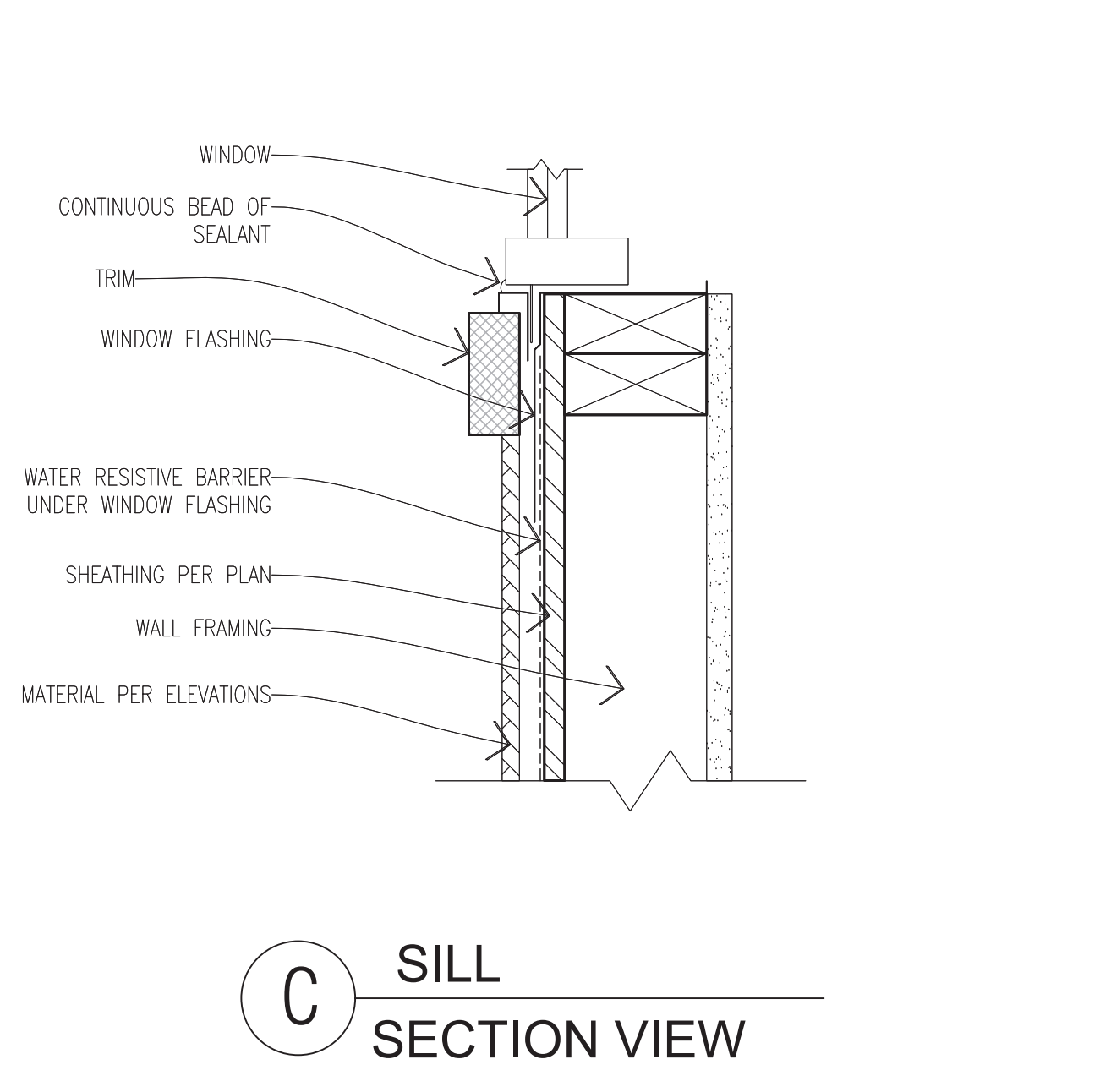
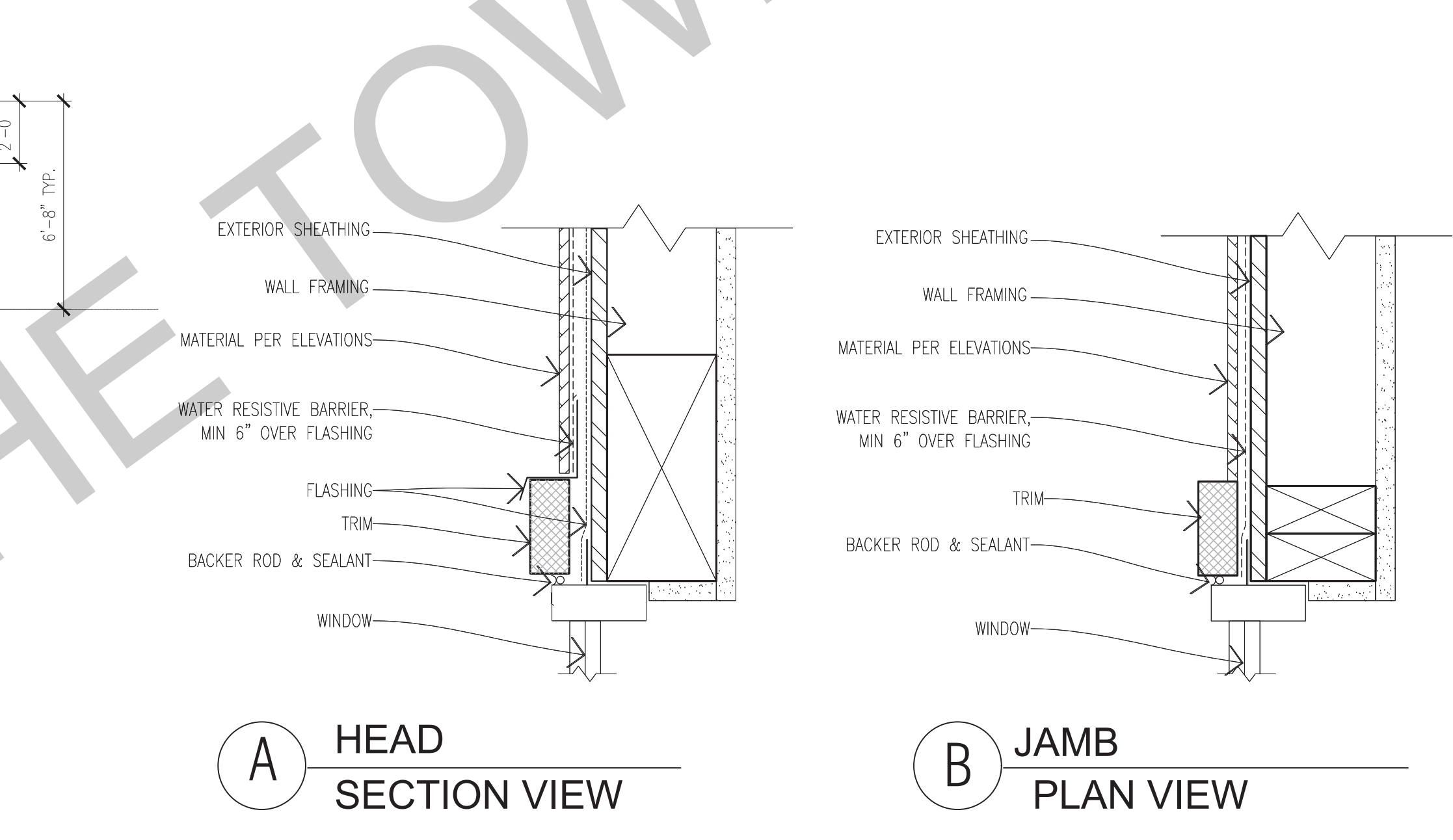
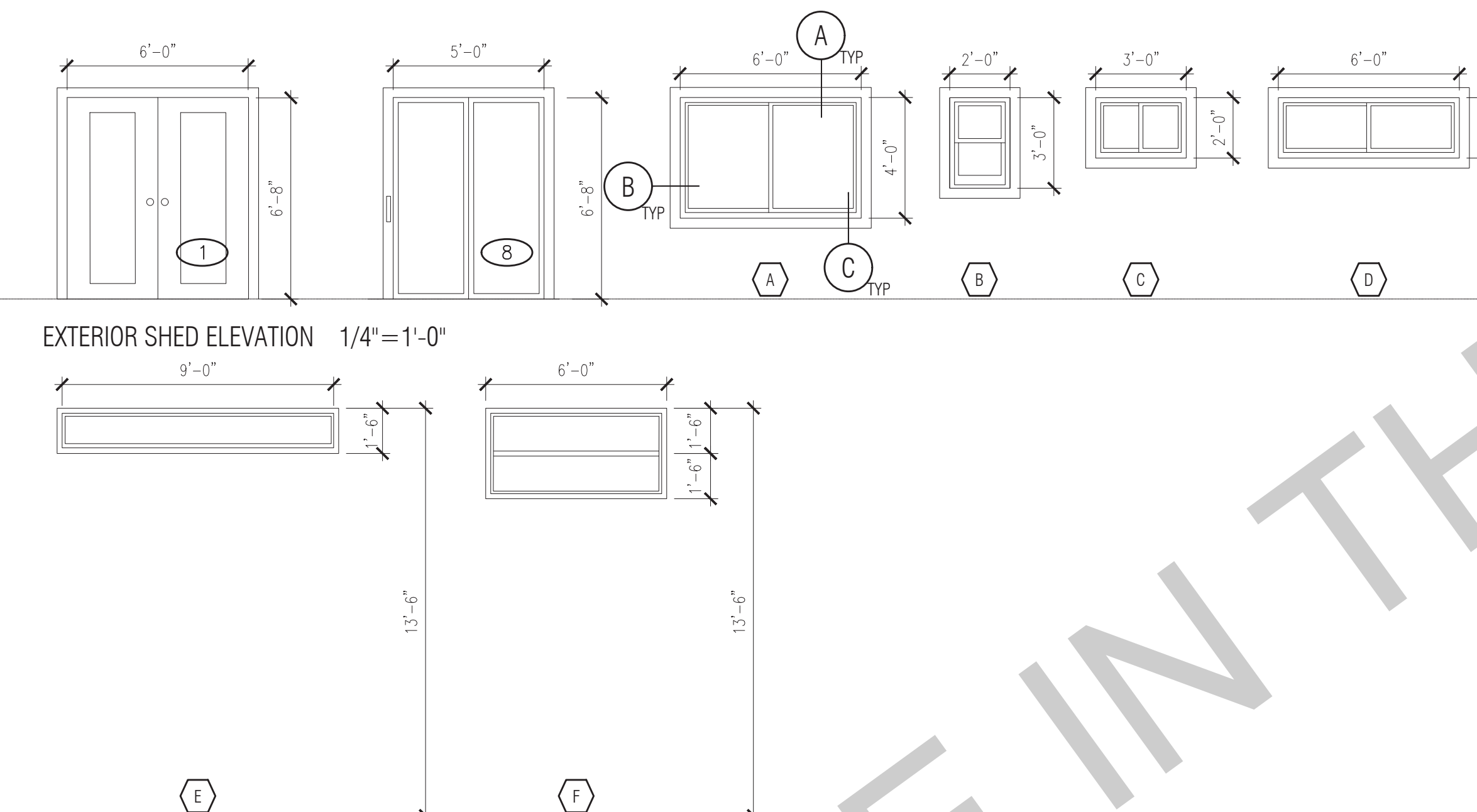


WINDOW SCHEDULE								
WINDOW	WINDOW SIZE		OPER.	QNTY	FRAME	HEAD HEIGHT	LOCATION	REMARKS
	WIDTH	HEIGHT						
A	6'-0"	4'-0"	SLIDER	2	VINYL	6'-8"	LIVING ROOM	TEMPERED
B	2'-0"	3'-0"	SINGLE HUNG	2	VINYL	6'-8"	KITCHEN/BATHROOM	TEMPERED
C	3'-0"	2'-0"	SLIDER	1	VINYL	6'-8"	BATHROOM	TEMPERED
D	6'-0"	2'-0"	SLIDER	1	VINYL	6'-8"	BEDROOM	TEMPERED
E	9'-0"	1'-6"	FIXED	1	VINYL	13'-6"	CLERESTORY WINDOW AT KITCHEN	TEMPERED
F	6'-0"	3'-0"	FIXED	1	VINYL	13'-6"	CLERESTORY WINDOW AT BEDROOM	TEMPERED

- WINDOW NOTES**
- SEE EXTERIOR ELEVATION FOR DIRECTION OF OPERATION OF WINDOWS (ALL OPERABLE WINDOWS TO HAVE SCREENS).
  - ALL WINDOW DIMENSIONS PERTAIN TO ROUGH OPENINGS (R.O.), CONTRACTOR TO FIELD VERIFY ACTUAL DIMENSIONS FOR WINDOWS
  - ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE NFRC LABEL.
  - ALL GLAZING SHALL BE SPECTRALLY SELECTIVE LOW E COATED TO MEET TITLE 24 ENERGY REQUIREMENTS.
  - WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.D
  - VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303
  - EVERY SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW FOR EMERGENCY ESCAPE OR RESCUE WITH A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. NET CLEAR OPENABLE HEIGHT OF 24" MIN., NET CLEAR WIDTH OF 20" AND A FIN. SILL HEIGHT OF NOT MORE THAN 44" A.F.F. PER CRC SECTION 310.1.
  - TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
  - EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL VENTILATION AND NATURAL LIGHT BY MEANS OF VENTILATION / ARTIFICIAL LIGHT. CBC SECTIONS 1203.4 AND 1205.1 AND R303
  - THE MINIMUM NET GLAZED AREA FOR NATURAL LIGHT SHALL NOT BE LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. CBC SECTION 1205.2
  - THE MINIMUM OPENABLE AREA TO THE OUTDOORS FOR NATURAL VENTILATION SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. SECTION 1203.4
  - EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE
  - FIRE-RESISTANCE RATED GLAZING TESTED AS PART OF A FIRE-RESISTANCE-RATED WALL ASSEMBLY IN ACCORDANCE WITH ASTM E 119 OR UL 263 TO BE CONSTRUCTED PER NOTE #13
  - THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
    - SLIDING/SWINGING GLASS DOORS
    - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
    - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
    - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT, BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
    - GLAZING IN GUARDS AND RAILINGS
    - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE
  - 708A.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS:
    - BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR GLAZING, OR
    - BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
    - HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE TO NFPA 257, OR
    - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE									
DOOR	DOOR TYPE	DOOR SIZE			CORE	MATERIAL	FRAME	LOCATION	REMARKS
		WIDTH	HEIGHT	THICK.					
1	FRENCH DOOR	6'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	FRONT ENTRY	
2	SINGLE DOOR	2'-4"	6'-8"	1-3/4"	HLW	WOOD	WD	WASHROOM	
3	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BATHROOM	
4	CLOSET DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	HALLWAY CLOSET	
5	SINGLE DOOR	3'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM	
6	SINGLE DOOR	2'-4"	6'-8"	1-3/4"	HLW	WOOD	WD	WATER HEATER ROOM	LOUVERED
7	CLOSET DOOR	7'-0"	6'-8"	1-3/4"	HLW	WOOD	WD	BEDROOM CLOSET	
8	SLIDING DOOR	5'-0"	6'-8"	1-3/4"	GL	VNL/GLASS	VINYL	BEDROOM PORCH ENTRY	

- DOOR NOTES**
- ALL GLASS IN DOORS SHALL BE TEMPERED. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
  - ALL GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
  - REFER TO FLOOR PLANS FOR DIRECTION OF DOOR SWING.
  - DOORS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 116 E.E.S.
  - VENTILATION SHALL COMPLY WITH C.B.C. 1203.4 AND R303.
  - DOORS MAY OPEN TO THE EXTERIOR ONLY IF THE FLOOR OR LANDING IS NOT MORE THAN 1-1/2" INCH LOWER THAN THE DOOR THRESHOLD. SECTION R311.3.1 CRC
  - GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE.
  - THE FOLLOWING WINDOWS SHALL BE FULLY TEMPERED: (CRC R308.4)
    - SLIDING/SWINGING GLASS DOORS
    - GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC R308.4.5)
    - GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES ABOVE THE FLOOR. SAFETY GLAZING REQUIRED ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF HINGE SIDE OF AN IN-SWING DOOR. (R308.4.2)
    - GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT, BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR, AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING
    - GLAZING IN GUARDS AND RAILINGS
    - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN. ABOVE THE WALKING SURFACE
  - 708A.2.1 EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLY REQUIREMENTS:
    - BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
    - HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE TO NFPA 257, OR
    - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
  - 708A.3 EXTERIOR DOORS, EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
    - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL
    - THE EXTERIOR SURFACE OR CLADDING SHALL BE IGNITION RESISTANT MATERIAL
    - THE EXTERIOR DOOR SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
      - STILES AND RAILS SHALL NOT BE LESS THAN 1-3/8" THICK.
      - RAISED PANELS SHALL NOT BE LESS THAN 1-1/4" THICK.
    - EXCEPT FOR THE EXTERIOR PERIMETER OF THE PANEL THAT SHALL BE PERMITTED TO TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
    - THE EXTERIOR DOOR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO THE NFPA 252.
    - THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE IN SECTION 707A.3.1 WHEN TESTED IN ACCORDANCE WITH ASTM E2707.
    - THE EXTERIOR SURFACE OR CLADDING SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.



**A HEAD SECTION VIEW**

**B JAMB PLAN VIEW**

**C SILL SECTION VIEW**

**WINDOW DETAILS**  
SCALE: 3" = 1'-0"

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### WILD FIRE PREPARED HOME STANDARDS ROOF NOTES:

**Roofs:**  
The roof must be Class A fire-resistant rated and kept clear of debris. Several roofing materials have been tested as a roofing system to meet the ASTM E108 or UL 790 Class A requirements, including but not limited to the following:

- Asphalt shingles
- Concrete, brick, or masonry tiles with bird stops to reduce debris accumulation
- Metal shingles or sheets

**Gutters & Downspouts:**  
Gutters and downspouts must be made out of noncombustible material. Gutters and downspouts must be kept clear of debris such as leaves and pine needles. Gutters must be covered (with a noncombustible material) to prevent the collection of debris such as leaves and pine needles.

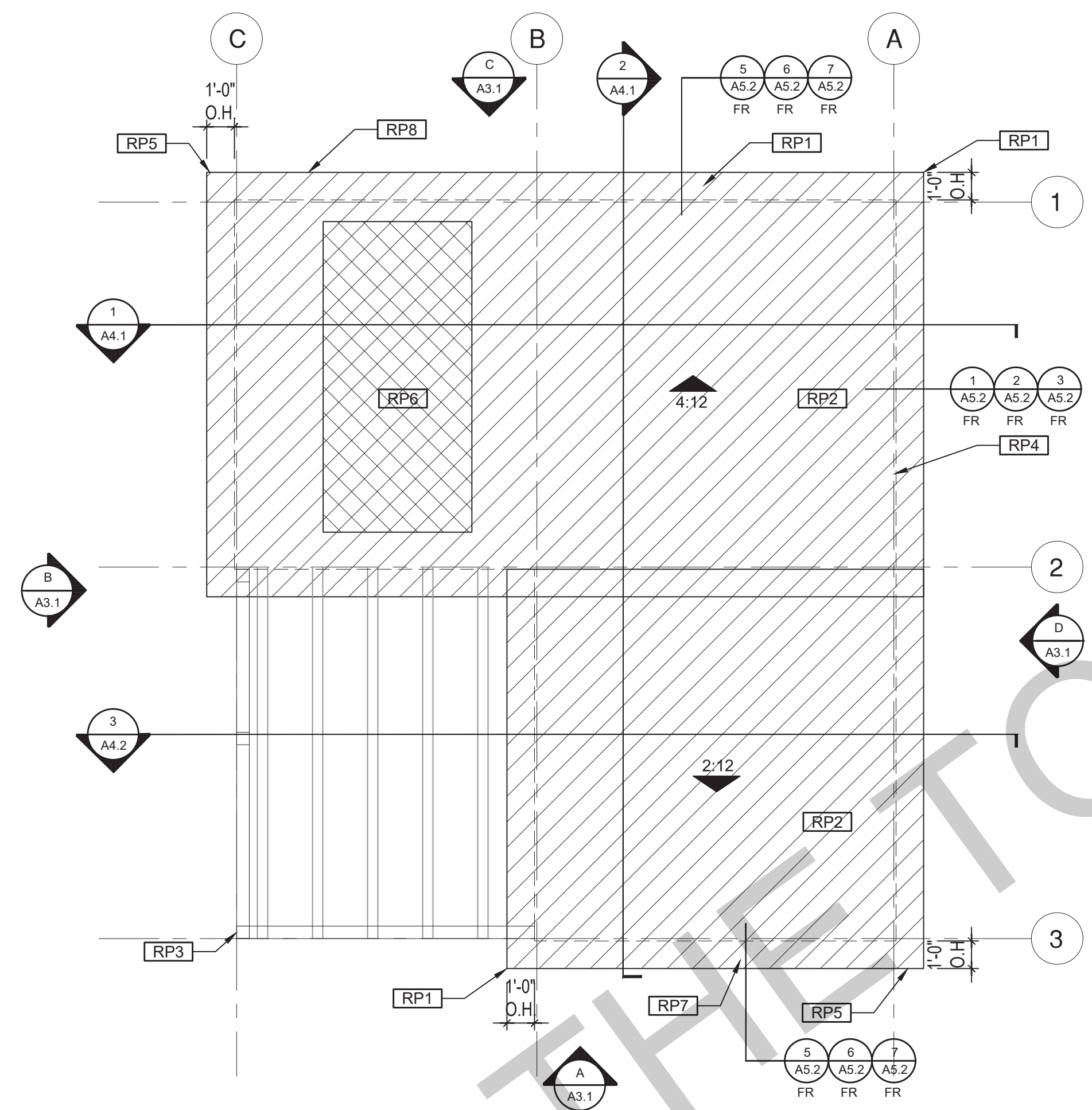
**Building Features:**  
**Vents**  
Ventilation openings for enclosed attics, gable ends, ridge ends, enclosed eave soffit spaces, enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters, underfloor ventilation, foundations, and crawl spaces; under eaves and cornices; or for any other opening intended to permit ventilation, either in a horizontal or vertical surface, must resist the intrusion of burning embers and flames by meeting one of the following requirements:

- Performance: Corrosion-resistant vents conforming with the following ASTM E2886 test requirements:
  - No flaming ignition of the cotton material during the Ember Intrusion Test.
  - No flaming ignition during the Integrity Test portion of the Flame Intrusion Test.
  - Temperature of the unexposed side of the vent does not exceed 652°F.
- Prescriptive: Vents must be made of a noncombustible material and covered with noncombustible, corrosion-resistant mesh with openings not to exceed 1/8 inch.
- Exceptions:
  - Dryer vents must have a louver or flap in lieu of mesh.
  - Plumbing vents are excluded from these requirements.

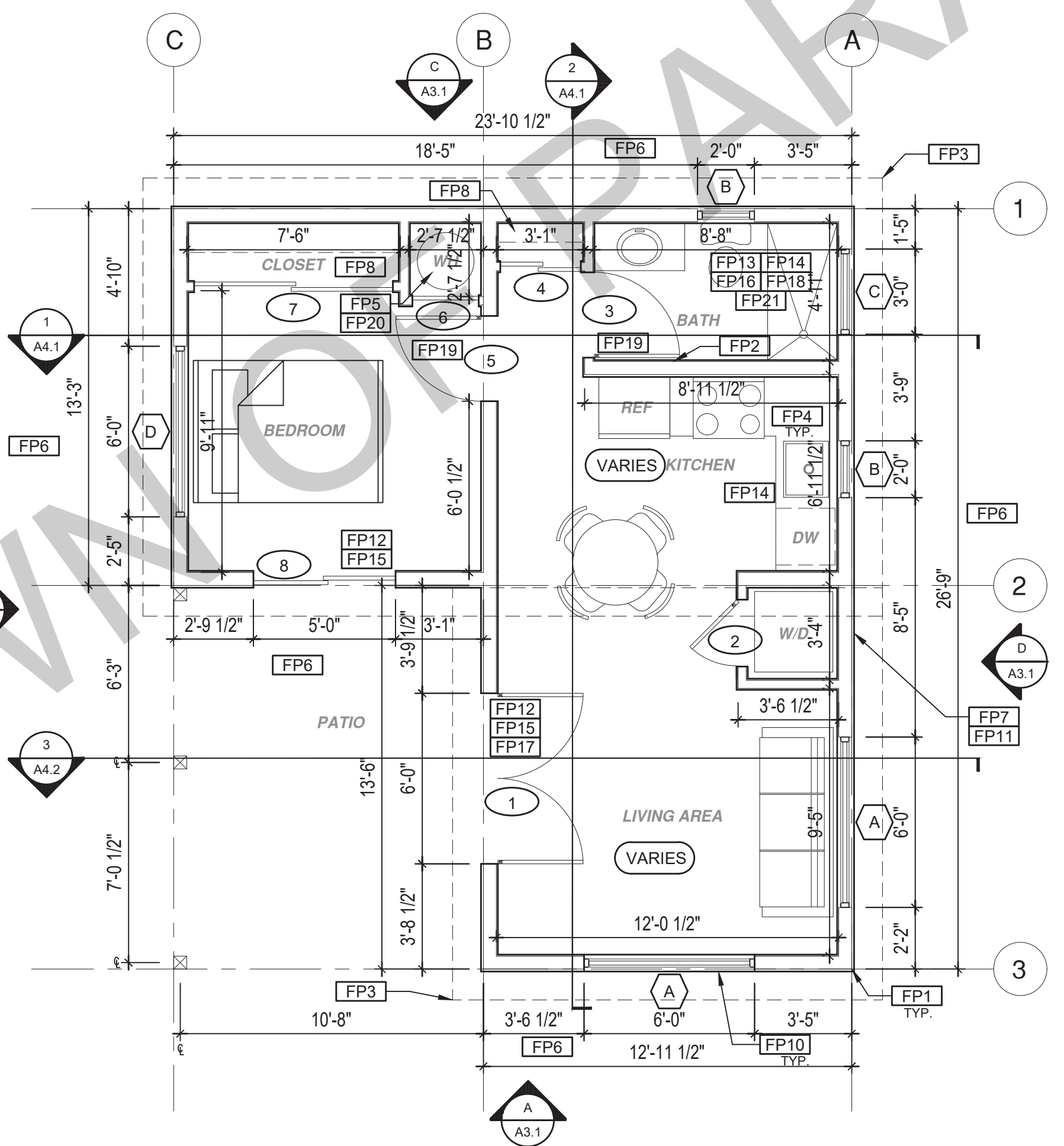
**Eaves & Soffits:**  
In addition to the requirement for vent openings at eaves and soffits listed above, eaves and soffits must be enclosed or protected on the exposed underside by one of the following:

- Noncombustible materials
- Ignition-resistant materials
- Materials approved for not less than 1-hour fire-resistance-rated construction
- 2-inch nominal dimension lumber

**Vents:**  
Dryer vents must be made of noncombustible (i.e., metal) material and have a louver or flap.



**ROOF PLAN**  
1/4"=1'-0"



**FLOOR PLAN**  
1/4"=1'-0"

### WILD FIRE PREPARED HOME STANDARDS FLOOR PLAN NOTES:

**Ground Clearance for Exterior Walls Covering/Cladding:**  
Exterior walls are vulnerable because embers can accumulate and make direct contact. All exterior walls must have a minimum of 6 vertical inches of noncombustible material, measured from the ground (at grade).

**Decks or Covered Porches:**  
Decks or covered porches, which are included in the building footprint as illustrated in Figure 2, must meet and maintain monthly the following requirements:

- Must be clear of debris.
- Must have no woody vegetation (trees, shrubs). No more than 10 potted plants that should not exceed 36 inches in height and width, including the noncombustible planter, are permitted.
- Must have only noncombustible or ignition-resistant items (such as cast aluminum furniture) on top of the deck or porch. A small number of combustible items that can be easily removed and stored when necessary (chair cushions, door mats, etc.) are permitted.
- Must have no vegetation of any kind (trees, bushes, shrubs, plants, grass, weeds, etc.) underneath. Noncombustible ground cover or bare earth are permitted.
- Must have nothing stored underneath.
- Must have 5 feet of defensible space (as part of the 5-foot Home Ignition Zone required for the home, described below).

Additionally, for decks or porches 4 feet or less above the ground (when measured normally from the walking surface to the ground at the location where this distance is maximum), the underdeck area must be enclosed to reduce the accumulation of debris using one of the following methods:

- Install noncombustible, corrosion-resistant mesh material with openings not to exceed 1/8 inch around the outer edge of the deck from the walking surface to the ground to prevent ember intrusion. If a material (e.g., lattice) is installed over the mesh, it needs to be noncombustible.
- Fully enclose with a noncombustible wall covering/cladding. For decks with an additional structure (like a pergola or gazebo), that additional structure must be constructed of noncombustible materials and shall not have a solid cover (noncombustible slats that cover no more than 10% total of the surface area where a roof cover would be is acceptable) and be free from any vegetation and curtains/drapes/screens.

Detached decks must meet the same requirements as attached decks.

**Exterior Walls Covering/Cladding:**  
Wall coverings/claddings must be a noncombustible or ignition-resistant material, such as:

- Metal siding
- Fiber-cement siding
- Masonry veneer
- Stucco
- Shutters must be made of noncombustible materials

**Exterior Glass (Windows, Skylights & Glass within Doors):**  
All exterior windows, skylights, and glazed openings within doors must comply with one of the following requirements:

- Multipaned glass with a tempered outer pane
- Glass with a minimum of 20-minutes fire-resistance rating when tested in accordance with NFPA 257
- Glass blocks (windows only)

**Exterior Doors:**  
Exterior surface or cladding of the exterior doors shall be constructed with noncombustible materials. Doors made of combustible material are permissible provided a noncombustible exterior storm door is installed as the outermost door.

**Decks:**  
In addition to the requirements listed above, decks including posts, joists, railings, and walking surfaces must be constructed with noncombustible materials.

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ROOF KEYNOTES	
RP1	LINE OF ROOF OVERHANG
RP2	CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2 AND WUI SPEC ON G0.5
RP3	SUPPORT POST BELOW
RP4	LINE OF WALLS BELOW
RP5	ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS
RP6	DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET
RP7	WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, GABLE ENDS, RIDGE ENDS, UNDER EAVES AND CORNICES, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILING IS APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION, FOUNDATIONS AND CRAWL SPACES, OR ANY OTHER OPENING INTENDED TO PERMIT VENTILATION, EITHER IN A HORIZONTAL OR VERTICAL PLANE, SHALL BE IN ACCORDANCE WITH SECTION 1202 OF THE CBC AND SECTIONS R337.6.1 THRU R337.6.2 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THRU THE VENTILATION OPENINGS. (R337.6.1) VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS: i. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST. ii. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST. iii. THE MAX. TEMP. OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 652° (350°C). (R337.6.2)
RP8	ROOF GUTTERS OF A NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

FLOOR PLAN KEYNOTES	
FP1	STUD WALL SIZED PER STRUCTURAL
FP2	2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING
FP3	LINE OF OVERHANG ABOVE
FP4	36" HIGH COUNTER
FP5	WATER HEATER
FP6	SLOPE SURFACE AWAY FROM BUILDING
FP7	WUI COMPLIANT DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING
FP8	CLOSET SHELF AND POLE
FP9	EMERGENCY EGRESS WINDOW
FP10	WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS
FP11	VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION
FP12	MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP
FP13	SURROUND AROUND THE SHOWER MUST BE TEMPERED GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 80" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL, OR SWIMMING POOL.
FP14	PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION
FP15	LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/2" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1'5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7/8" FOR DOORS THAT DO NOT SWING OUTWARD.
FP16	WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2
FP17	DOOR BELL BUTTON TO BE NO MORE THEN 48" ABOVE EXTERIOR FLOOR OR LANDING
FP18	WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 38.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #32 ON SHEET G0.2 FOR FURTHER INFORMATION
FP19	DOOR TO HAVE A NET CLEAR OPENING OF 32"
FP20	DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(n)
FP21	FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH

ROOF PLAN GENERAL NOTES	
1.	REFER TO GENERAL NOTES SHEET G0.2 FOR ADDITIONAL REQUIREMENTS
2.	REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE
3.	REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS
4.	REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION
5.	OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL FRAMING TO ROOF EDGE
6.	ROOF COVERING AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2022 IBC) AND MANUFACTURER'S INSTALLATION INSTRUCTIONS
7.	ROOF VENTS SHALL BE APPLIED PER MANUFACTURERS SPECIFICATIONS
8.	ADJUST VENTS TO ACCOMMODATE ROOF FRAMING, PLUMBING VENTS, AND SOLAR COLLECTORS.

FLOOR PLAN GENERAL NOTES	
1.	REFER TO GENERAL NOTE SHEET G0.2 FOR ADDITIONAL REQUIREMENTS
2.	REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION
3.	REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED
4.	REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION
5.	ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY
6.	PROVIDE ADEQUATE BLOCKING FOR AGING IN PLACE SEE FLOOR PLAN NOTE #17 ON G0.2
7.	WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
8.	AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

SOLAR READY NOTES	
SOLAR READY ROOF AREA: MIN DIMENSION > 5FT. MIN. SF > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)	
THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION	
SINGLE FAMILY RESIDENCE, THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.	
FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.	

VENTING CALCULATIONS	
ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA.	ENCLOSED RAFTER AREA: 499 SF.
VENTILATION AREA REQUIRED: 499SF / 150SF = 3.33SF.	CONVERT TO SQ. IN: 3.33SF x 144 = 479 SQ. IN.
MINIMUM VENTILATION AREA REQUIRED: 479 SQ. IN.	VENTS ARE TO BE MANUFACTURED BY VULCAN AND WUI COMPLIANT. STANDARD OR ROUND BOTH ARE ACCEPTABLE METHODS TO ACHIEVE MIN. AREA

LEGEND			
	SECTION CUT		KEYNOTE
	ELEVATION CALLOUT		DOOR SYMBOL
	DETAIL DRAWING REF.		WINDOW SYMBOL
	WALL BELOW OR ROOF ABOVE		CEILING HEIGHTS
	SOLAR ZONE. REFER TO SOLAR NOTES ON SHEET G0.2		VAULTED CEILING
	ROOFING		ROOF SLOPE

project  
Town of Paradise  
Pre-Approved  
ADU Program

revisions  
△  
△  
△  
△  
△

description  
**Floor/Roof  
Plan**

date  
## Month 20##

project no.  
20##\_xxxxxx

drawn by  
xxx/xxx

sheet no.  
**A1.1**



### WILD FIRE PREPARED HOME STANDARDS ROOF NOTES:

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- Asphalt shingles
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- Metal shingles or sheets

**Gutters & Downspouts:**  
Gutters and downspouts must be made out of noncombustible material. Gutters and downspouts must be kept clear of debris such as leaves and pine needles. Gutters must be covered (with a noncombustible material) to prevent the collection of debris such as leaves and pine needles.

**Building Features:**  
Vents  
Ventilation openings for enclosed attics, gable ends, ridge ends, enclosed eave soffit spaces, enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters, underfloor ventilation, foundations, and crawl spaces; under eaves and cornices; or for any other opening intended to permit ventilation, either in a horizontal or vertical surface, must resist the intrusion of burning embers and flames by meeting one of the following requirements:

- Performance: Corrosion-resistant vents conforming with the following ASTM E2886 test requirements:
  - No flaming ignition of the cotton material during the Ember Intrusion Test.
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  - Temperature of the unexposed side of the vent does not exceed 652°F.
- Prescriptive: Vents must be made of a noncombustible material and covered with noncombustible, corrosion-resistant mesh with openings not to exceed 1/8 inch.
- Exceptions:
  - Dryer vents must have a louver or flap in lieu of mesh.
  - Plumbing vents are excluded from these requirements.

**Eaves & Soffits:**  
In addition to the requirement for vent openings at eaves and soffits listed above, eaves and soffits must be enclosed or protected on the exposed underside by one of the following:

- Noncombustible materials
- Ignition-resistant materials
- Materials approved for not less than 1-hour fire-resistance-rated construction
- 2-inch nominal dimension lumber

**Vents:**  
Dryer vents must be made of noncombustible (i.e., metal) material and have a louver or flap.

### WILD FIRE PREPARED HOME STANDARDS FLOOR PLAN NOTES:

**Ground Clearance for Exterior Walls Covering/Cladding:**  
Exterior walls are vulnerable because embers can accumulate and make direct contact. All exterior walls must have a minimum of 6 vertical inches of noncombustible material, measured from the ground (at grade).

**Decks or Covered Porches:**  
Decks or covered porches, which are included in the building footprint as illustrated in Figure 2, must meet and maintain monthly the following requirements:

- Must be clear of debris.
- Must have no woody vegetation (trees, shrubs). No more than 10 potted plants that should not exceed 36 inches in height and width, including the noncombustible planter, are permitted.
- Must have only noncombustible or ignition-resistant items (such as cast aluminum furniture) on top of the deck or porch. A small number of combustible items that can be easily removed and stored when necessary (chair cushions, door mats, etc.) are permitted.
- Must have no vegetation of any kind (trees, bushes, shrubs, plants, grass, weeds, etc.) underneath. Noncombustible ground cover or bare earth are permitted.
- Must have nothing stored underneath.
- Must have 5 feet of defensible space (as part of the 5-foot Home Ignition Zone required for the home, described below).

Additionally, for decks or porches 4 feet or less above the ground (when measured normally from the walking surface to the ground at the location where this distance is maximum), the underdeck area must be enclosed to reduce the accumulation of debris using one of the following methods:

- Install noncombustible, corrosion-resistant mesh material with openings not to exceed 1/8 inch around the outer edge of the deck from the walking surface to the ground to prevent ember intrusion. If a material (e.g., lattice) is installed over the mesh, it needs to be noncombustible.
- Fully enclose with a noncombustible wall covering/cladding. For decks with an additional structure (like a pergola or gazebo), that additional structure must be constructed of noncombustible materials and shall not have a solid cover (noncombustible slats that cover no more than 10% total of the surface area where a roof cover would be is acceptable) and be free from any vegetation and curtains/drapes/screens.

Detached decks must meet the same requirements as attached decks.

**Exterior Walls Covering/Cladding:**  
Wall coverings/claddings must be a noncombustible or ignition-resistant material, such as:

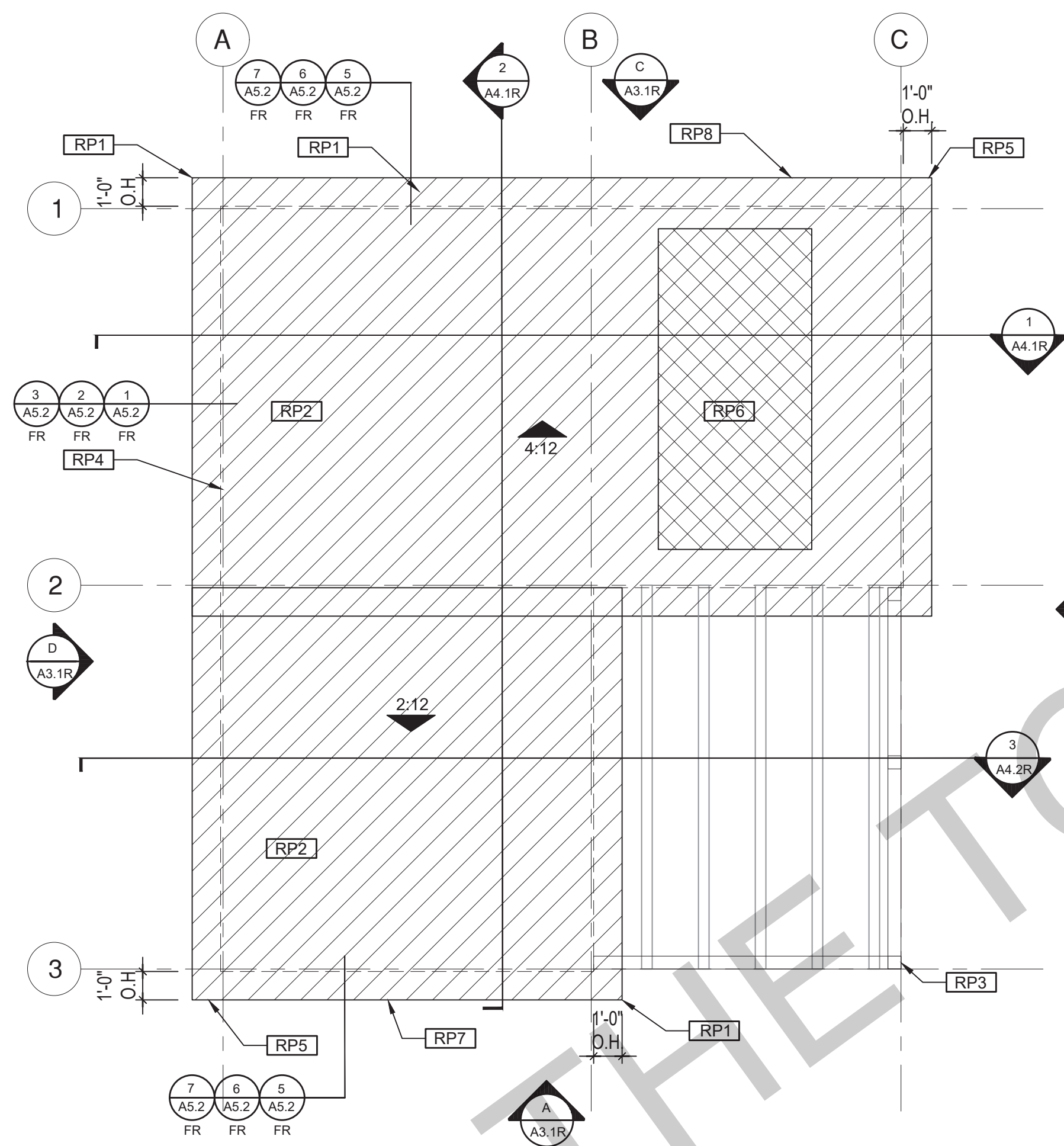
- Metal siding
- Fiber-cement siding
- Masonry veneer
- Stucco
- Shutters must be made of noncombustible materials

**Exterior Glass (Windows, Skylights & Glass within Doors):**  
All exterior windows, skylights, and glazed openings within doors must comply with one of the following requirements:

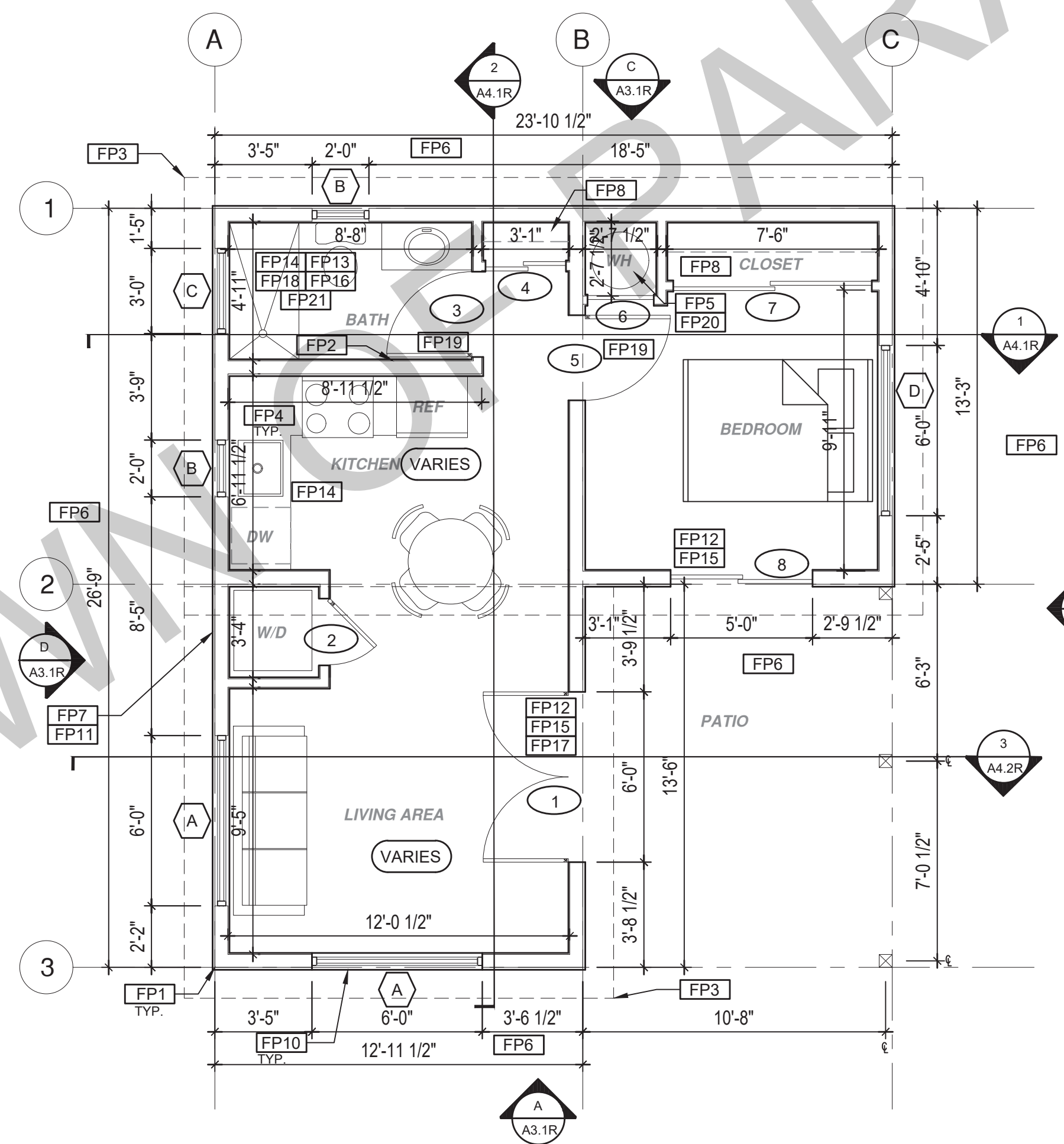
- Multipaned glass with a tempered outer pane
- Glass with a minimum of 20-minutes fire-resistance rating when tested in accordance with NFPA 257
- Glass blocks (windows only)

**Exterior Doors:**  
Exterior surface or cladding of the exterior doors shall be constructed with noncombustible materials. Doors made of combustible material are permissible provided a noncombustible exterior storm door is installed as the outermost door.

**Decks:**  
In addition to the requirements listed above, decks including posts, joists, railings, and walking surfaces must be constructed with noncombustible materials



**ROOF PLAN**  
1/4"=1'-0"  
COOP (REVERSE)



**FLOOR PLAN**  
1/4"=1'-0"  
499 SQ. FT. COOP (REVERSE)

ROOF KEYNOTES	
RP1	LINE OF ROOF OVERHANG
RP2	CLASS A ROOFING MATERIAL. SEE GENERAL ROOF NOTE 13 ON SHEET G0.2 AND WUI SPEC ON G0.5
RP3	SUPPORT POST BELOW
RP4	LINE OF WALLS BELOW
RP5	ROOF DOWNSPOUT LOCATION TO BE DETERMINED BY SITE SPECIFIC CONDITIONS
RP6	DESIGNATED SOLAR PANEL AREA. PLEASE SEE SOLAR READY NOTES ON THIS SHEET
RP7	WHERE PROVIDED, VENTILATION OPENINGS FOR ENCLOSED ATTICS, GABLE ENDS, RIDGE ENDS, UNDER EAVES AND CORNICES, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES WHERE CEILING IS APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION, FOUNDATIONS AND CRAWL SPACES, OR ANY OTHER OPENING INTENDED TO PERMIT VENTILATION, EITHER IN A HORIZONTAL OR VERTICAL PLANE, SHALL BE IN ACCORDANCE WITH SECTION 1202 OF THE CBC AND SECTIONS R337.6.1 THRU R337.6.2 TO RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THRU THE VENTILATION OPENINGS. (R337.6.1) VENTILATION OPENINGS SHALL BE FULLY COVERED WITH WILDFIRE FLAME AND EMBER RESISTANT VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS TESTED TO ASTM E2886 AND LISTED BY COMPLYING WITH ALL OF THE FOLLOWING REQUIREMENTS: i. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST. ii. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST. iii. THE MAX. TEMP. OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 652° (350°C). (R337.6.2)
RP8	ROOF GUTTERS OF A NON-COMBUSTIBLE MATERIAL SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

FLOOR PLAN KEYNOTES	
FP1	STUD WALL SIZED PER STRUCTURAL
FP2	2X6 STUD WALL OR FURRING AS NEEDED FOR MECHANICAL / PLUMBING / VENTING
FP3	LINE OF OVERHANG ABOVE
FP4	36" HIGH COUNTER
FP5	WATER HEATER
FP6	SLOPE SURFACE AWAY FROM BUILDING
FP7	WUI COMPLIANT DRYER VENT TERMINATION ON EXTERIOR WALL TO BE A MINIMUM OF 3 FT FROM ANY OPENING
FP8	CLOSET SHELF AND POLE
FP9	EMERGENCY EGRESS WINDOW
FP10	WINDOW MUST HAVE A FRAME AND SASH COMPRISED OF WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND CONSTRUCTED OF MULTIPANE TEMPERED GLAZING WHERE INDICATED TYPICAL ALL WINDOWS
FP11	VENT DRYER THROUGH WALL. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION
FP12	MIN. 1 HINGED ENTRY DOOR FOR EGRESS COMPLIANCE REQUIRED - THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90°. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP
FP13	SURROUND AROUND THE SHOWER MUST BE TEMPERED GLAZING IN THE WALLS/DOORS FACING OR CONTAINING BATHTUBS, SHOWERS, HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS AND INDOOR/OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 80" ABOVE THE STANDING SURFACE. EXCEPTION: GLAZING THAT IS MORE THAN 60", MEASURED HORIZONTALLY, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL, OR SWIMMING POOL.
FP14	PER SECTION 301.1.1 CALGREEN AND CIVIL CODE 1101.3(c), ALL PLUMBING FIXTURES SHALL BE COMPLIANT WATER -CONSERVING PLUMBING FIXTURES. SEE MECHANICAL / PLUMBING PLANS FOR FURTHER INFORMATION
FP15	LANDING OR FLOOR REQUIRED AT EACH SIDE OF EXTERIOR DOOR. WIDTH TO BE NOT LESS THAN THE DOOR SERVED AND HAVE A MIN 36 INCH DEPTH MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/2" PER FOOT. LANDINGS OR FINISHED FLOORS AT EGRESS DOOR SHALL NOT BE MORE THAN 1'5" LOWER THAN THE TOP OF THE THRESHOLD FOR OUTWARD SWINGING DOORS OR 7/8" FOR DOORS THAT DO NOT SWING OUTWARD.
FP16	WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. CRC R307.2
FP17	DOOR BELL BUTTON TO BE NO MORE THAN 48" ABOVE EXTERIOR FLOOR OR LANDING
FP18	WATER CLOSET AND SHOWER TO HAVE REINFORCEMENT IN WALLS 2X8 NOMINAL AT 32" TO 38.5" ABOVE FINISH FLOOR. SEE FLOOR PLAN GENERAL NOTE #32 ON SHEET G0.2 FOR FURTHER INFORMATION
FP19	DOOR TO HAVE A NET CLEAR OPENING OF 32"
FP20	DESIGNATED 2'-6" x 2'-6" x 7' TALL MINIMUM AREA FOR FUTURE INSTALLATION OF A HEAT PUMP WATER HEATER PER CEC 2022 SECTION 150.0(n)
FP21	FURRING AS NEEDED FOR STANDARD TUB AND SHOWER LENGTH

ROOF PLAN GENERAL NOTES	
1.	REFER TO GENERAL NOTES SHEET G0.2 FOR ADDITIONAL REQUIREMENTS
2.	REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE
3.	REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS OR CONTINUATION
4.	REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION
5.	OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL FRAMING TO ROOF EDGE
6.	ROOF COVERING AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2022 IBC) AND MANUFACTURER'S INSTALLATION INSTRUCTIONS
7.	ROOF VENTS SHALL BE APPLIED PER MANUFACTURERS SPECIFICATIONS
8.	ADJUST VENTS TO ACCOMMODATE ROOF FRAMING, PLUMBING VENTS, AND SOLAR COLLECTORS.

FLOOR PLAN GENERAL NOTES	
1.	REFER TO GENERAL NOTE SHEET G0.2 FOR ADDITIONAL REQUIREMENTS
2.	REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION
3.	REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED
4.	REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION
5.	ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY
6.	PROVIDE ADEQUATE BLOCKING FOR AGING IN PLACE SEE FLOOR PLAN NOTE #17 ON G0.2
7.	WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
8.	AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

SOLAR READY NOTES	
SOLAR READY ROOF AREA: MIN DIMENSION > 5FT. MIN. SF. > 80SF. PER CALIFORNIA ENERGY CODE SECTION 110.10(b)	
THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TILE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY LOCAL JURISDICTION	
SINGLE FAMILY RESIDENCE, THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING AND HAVE A TOTAL AREA OF NO LESS THAN 250SQFT.	
FOR PHOTOVOLTAIC ARRAYS OCCUPYING NOT MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN AN 18-INCH (457 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, NOT LESS THAN A 36-INCH (914 MM) CLEAR SETBACK IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.	

VENTING CALCULATIONS	
ROOF VENTING: 1SF. OF ROOF VENTING PER 150 SF. OF ENCLOSED AREA OR ENCLOSED RAFTER AREA.	ENCLOSED RAFTER AREA: 499 SF.
VENTILATION AREA REQUIRED: 499 SF / 150SF = 3.33 SF.	CONVERT TO SQ. IN: 3.33 SF x 144 = 479 SQ. IN.
MINIMUM VENTILATION AREA REQUIRED: 479 SQ. IN.	VENTS ARE TO BE MANUFACTURED BY VULCAN AND WUI COMPLIANT. STANDARD OR ROUND BOTH ARE ACCEPTABLE METHODS TO ACHIEVE MIN. AREA

LEGEND	
	SECTION CUT KEYNOTE
	DOOR SYMBOL
	WINDOW SYMBOL
	CEILING HEIGHTS
	VAULTED CEILING
	ROOF SLOPE

project  
Town of Paradise  
Pre-Approved  
ADU Program

revisions  
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description  
**Floor/Roof  
Plan -  
Reverse**

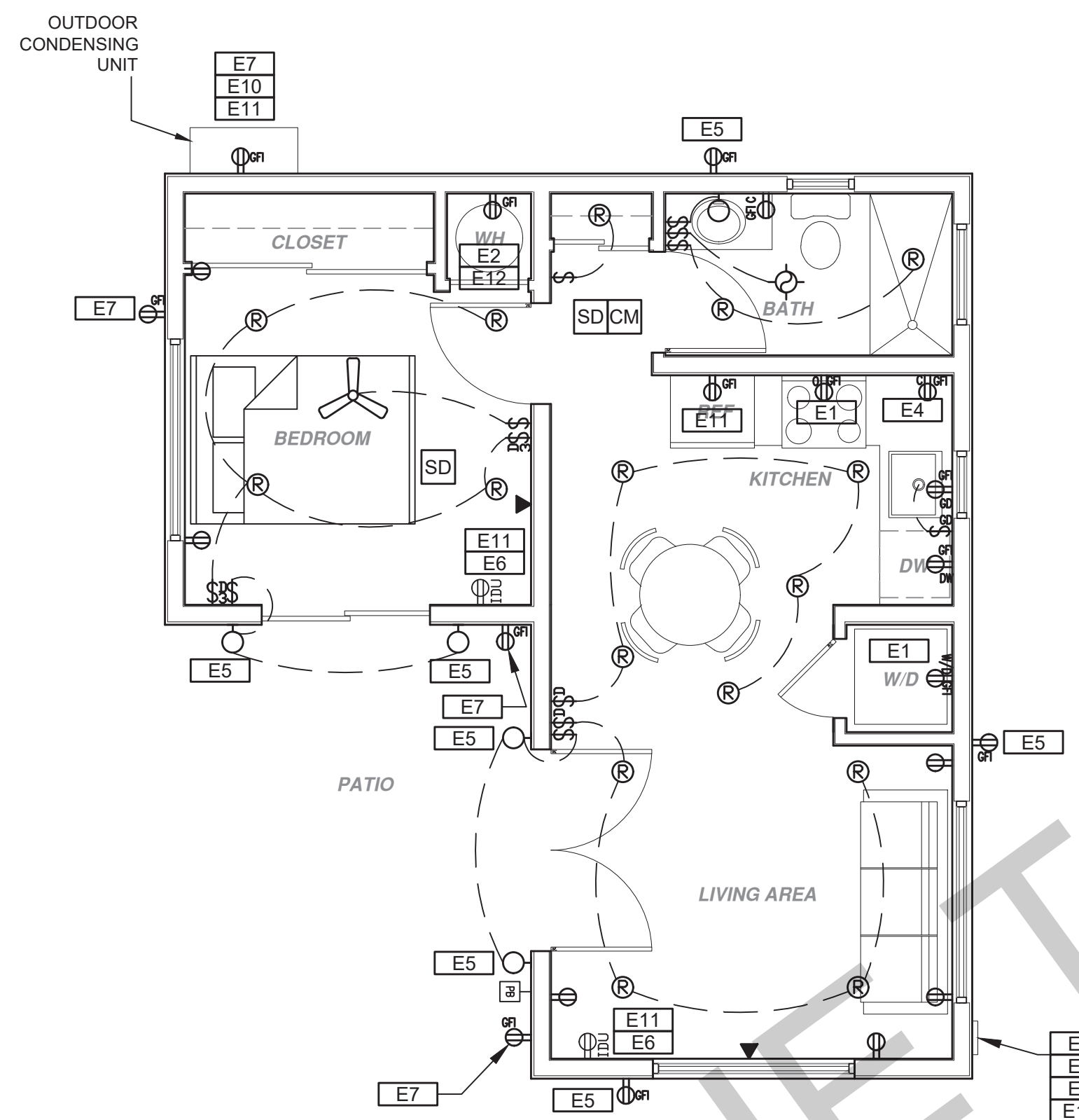
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project no. 20##\_xxxxxx

drawn by xxx/xxx

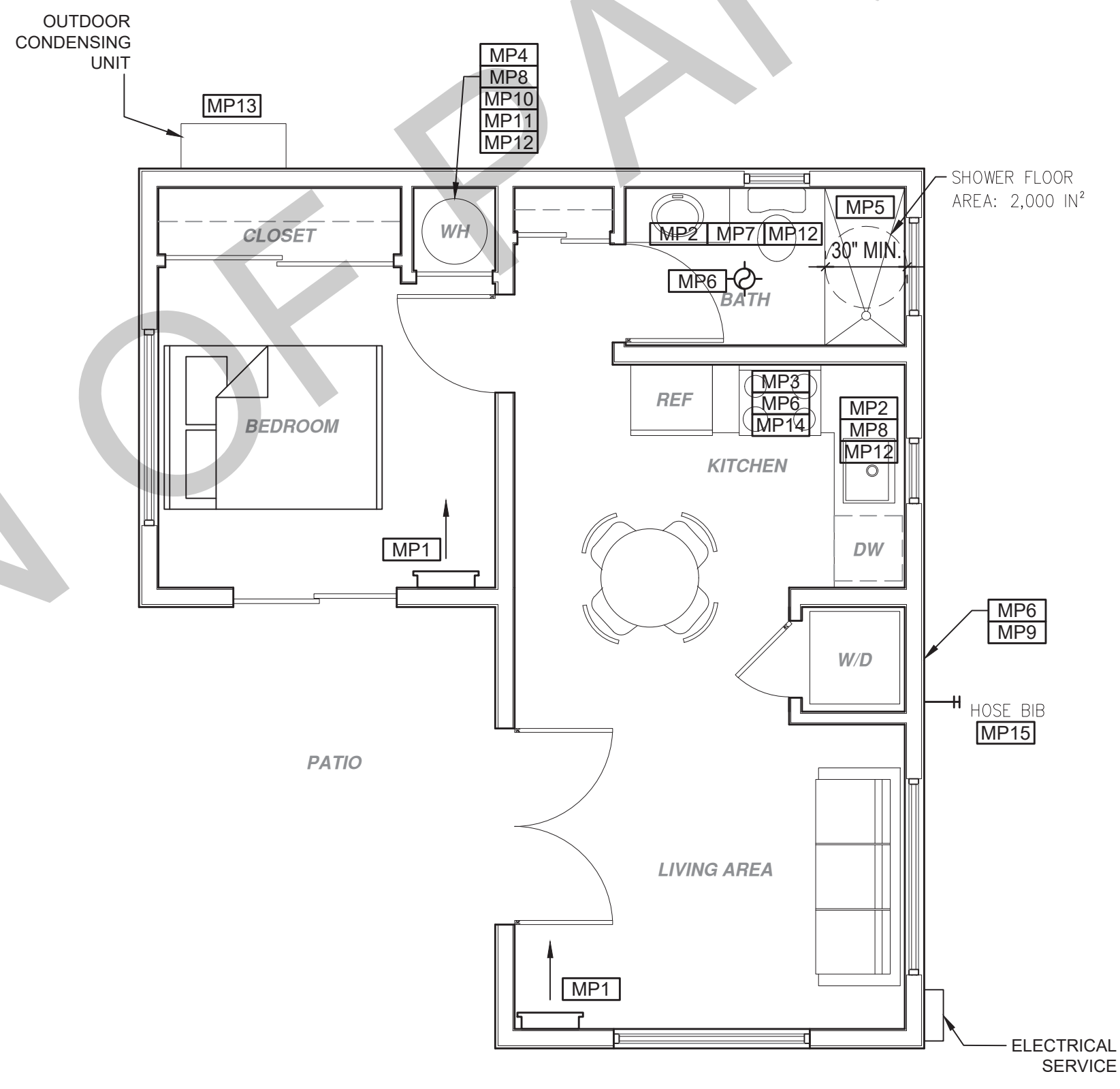
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**ELECTRICAL PLAN**

1/4"=1'-0"



**MECHANICAL / PLUMBING PLAN**

1/4"=1'-0"

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project

Town of Paradise  
Pre-Approved  
ADU Program

revisions



description

**Mechanical/  
Electrical/  
Plumbing  
Plan**

date

## Month 20##

project no.

20##\_xxxxxx

drawn by

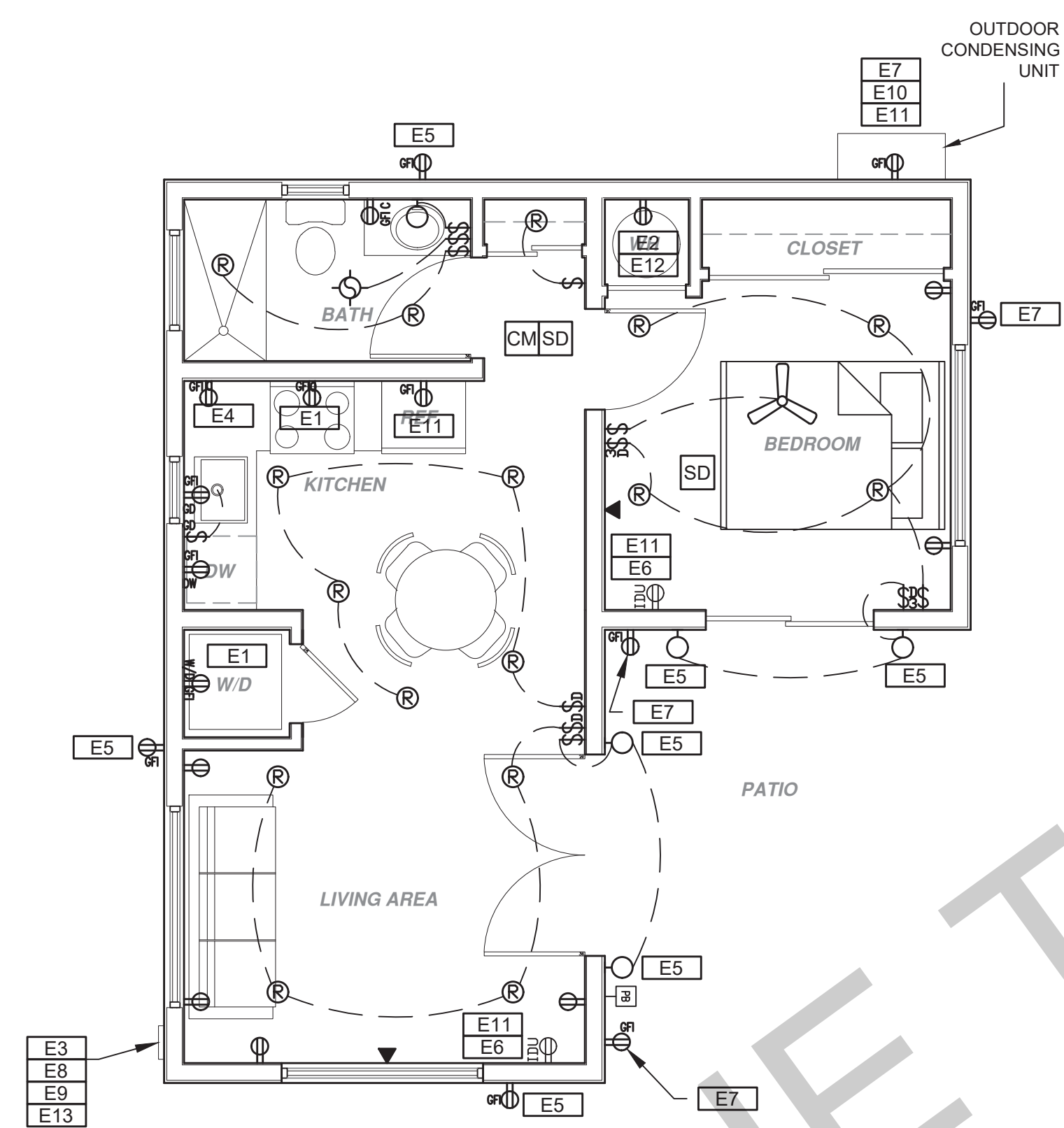
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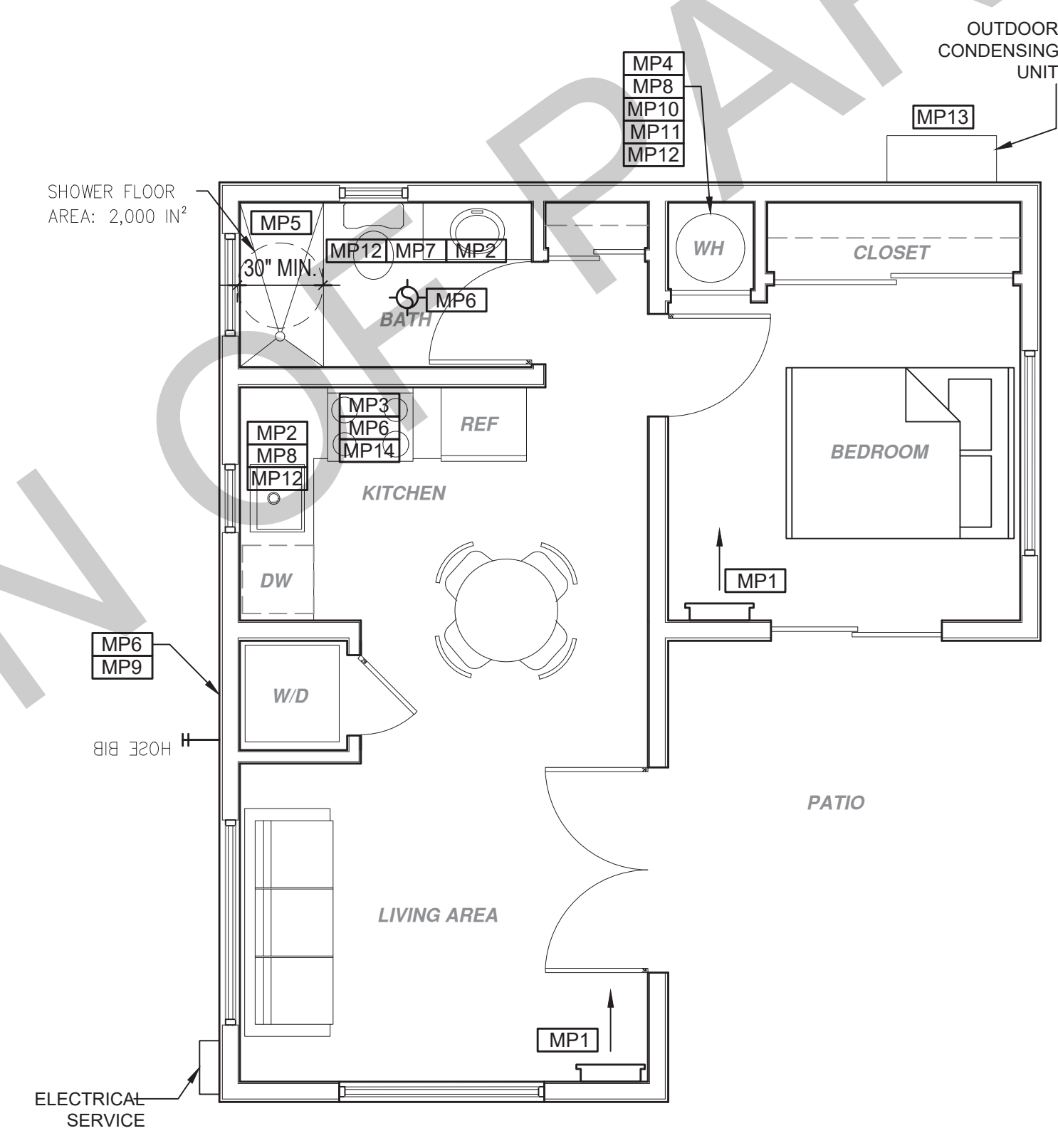
**A2.1**

MECHANICAL / PLUMBING KEYNOTES	ELECTRICAL KEYNOTES	MECHANICAL / PLUMBING LEGEND	ELECTRICAL LEGEND
<p><b>MP1</b> INDOOR UNIT MINI SPLIT SYSTEM.</p> <p><b>MP2</b> WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH; LAVATORIES LIMITED TO 1.2 GPM; KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANT EXCEED 2.2GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8GALLONS PER MIN AT 60 PSI. AND SHOWERS NOT EXCEED 1.8 GPM AT 60 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATER SAVING SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1501.3(i)</p> <p><b>MP3</b> EXHAUST HOOD ABOVE/ TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3)</p> <p><b>MP4</b> NEW WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2' ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE</p> <p><b>MP5</b> CONTROL VALVES IN SHOWERS, BATHTUBS &amp; BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIX VALVES</p> <p><b>MP6</b> MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN TERMINATIONS</p> <p><b>MP7</b> CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)</p> <p><b>MP8</b> THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION</p> <p><b>MP9</b> DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL &amp; SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), &amp; THE THICKNESS SHALL BE NOT LESS THAN 0.016 (OF AN INCH (406 MM). EXHAUST DUCTS &amp; DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS</p> <p><b>MP10</b> NEW WATER HEATER WITH T&amp;P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.</p> <p><b>MP11</b> INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVES FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED</p> <p><b>MP12</b> ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 3" PIPE (2" INSULATION); 3" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION)</p> <p><b>MP13</b> OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOOR HVAC UNIT</p> <p><b>MP14</b> A MINIMUM 160 GPM HOOD OVER ELECTRICAL RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERS VERIFIED. (CALIFORNIA ENERGY CODE TABLE 150.0-G - 1750 SQ. FT.</p> <p><b>MP15</b> ALL HOSE CONNECTIONS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS. (CPC 603.3.3)</p>	<p><b>E1</b> DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS.</p> <p><b>E2</b> OUTLET FOR NEW WATER HEATER WITHIN 3' OF WATER HEATER.</p> <p><b>E3</b> ELECTRICAL - SUB PANEL LOCATION</p> <p><b>E4</b> OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C); IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24" ISLAND IN PENINSULAR COUNTERTOPS 12" X 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE</p> <p><b>E5</b> OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.</p> <p><b>E6</b> OUTLET DEDICATED FOR INDOOR HVAC UNIT</p> <p><b>E7</b> WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED</p> <p><b>E8</b> OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL- ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AWG ALLOWABLE VOLTAGE DROP PER CEC 250.4</p> <p><b>E9</b> SEPARATE GROUND ELECTRODE SYSTEM PER CEC 250.4</p> <p><b>E10</b> OUTDOOR CONDENSING UNIT RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.</p> <p><b>E11</b> A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 400.11</p> <p><b>E12</b> PER CEC 2022 150.0(N) 1.A. - THE DESIGNATED SPACE AND WATER HEATER IS TO COMPLY WITH ELECTRICAL NOTES 15A16 ON SHEET G0.2</p> <p><b>E13</b> CONTRACTOR TO VERIFY MAIN PANEL</p>	<p><b>MECHANICAL</b></p> <p>EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FIVE AIR CHANGES PER HOUR. SECTION 1203.3. CFM AND NOISE RATING MAXIMUM 3 SONE FOR INTERMITTENT USE. SHALL BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50-80% HUMIDITY.</p> <p>DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> <li>ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ ACCA 2 MANUAL J-2011 OR EQUIVALENT.</li> <li>SIZE DUCT SYSTEMS ACCORDING TO ANSI/ ACCA 1 MANUAL D-2014 OR EQUIVALENT</li> <li>SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA 3 MANUAL S-2014 OR EQUIVALENT.</li> </ol> <p>RETURN AIR GRILLE, WALL MOUNTED</p> <p>SUPPLY AIR DIFFUSER, WALL MOUNTED</p> <p>THERMOSTAT</p> <p>HOSE BIB</p>	<p><b>FIRE DETECTION</b></p> <p><b>R34</b> SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.</p> <p>SHALL COMPLY WITH THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN</li> <li>NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM</li> <li>AT LEAS 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4</li> <li>AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM</li> </ul> <p><b>R34</b> CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.</p> <p><b>POWER/DATA</b></p> <p>TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX U.O.N.</p> <p>GFI = WATER PROOF GFCI CT = COOKTOP/ GRILL 240 V O = OVEN 240 V MW = MICROWAVE 110 V GD = GARBAGE DISPOSAL 110 V R = RANGE 220V C = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 64" AFF WID = WASHER/DRYER 30AMP/ 240VMP</p> <p>PHONE / DATA / MEDIA CEILING, WATERPROOF OUTLET FLOOR MOUNTED DUPLEX RECEPTACLE, VERIFY LOCATION IN FIELD. SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.) SUB PANEL</p> <p><b>SWITCHING</b></p> <p>SWITCH MOUNT AT 43" AFF THREE-WAY SWITCH FOUR-WAY SWITCH DIMMER SWITCH MOUNT 6" ABV COUNTER</p> <p><b>MISC.</b></p> <p>CEILING FAN/LIGHT COMBO CIRCUIT WIRING DOOR BELL BUTTON</p> <p><b>LIGHTING</b></p> <p>CEILING, RECESSED, DIRECTIONAL, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED, WATER RESISTANT, LED BULB WALL MOUNTED LIGHT JUNCTION BOX FLUSH CEILING MOUNTED UNDER COUNTER LIGHTING LOW VOLTAGE, LANDSCAPE LIGHT FLUORESCENT FIXTURE (USE SLOW TUBE TYPE WHEN UNDER COUNTER)</p> <p><b>BATHROOM EXHAUST FAN REQUIREMENTS:</b> PER CGBC 4.506.1- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWINGS: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 45% TO 80% TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT IN)</p> <p><b>RESIDENTIAL ENERGY LIGHTING REQUIREMENTS: ES 150.0(K)</b></p> <p>"IN THE KITCHEN, AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY." "IN THE BATHROOMS, AT LEAST ONE FIXTURE SHALL BE HIGH EFFICACY AND ALL REMAINING FIXTURES SHALL BE HIGH EFFICACY OR BE CONTROLLED BY A VACANCY SENSOR." "LIGHTING INSTALLED IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND BE CONTROLLED BY VACANCY SENSORS."</p>





ELECTRICAL PLAN  
1/4"=1'-0"



MECHANICAL / PLUMBING PLAN  
1/4"=1'-0"

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MECHANICAL / PLUMBING KEYNOTES	ELECTRICAL KEYNOTES	MECHANICAL / PLUMBING LEGEND	ELECTRICAL LEGEND
<p><b>MP1</b> INDOOR UNIT MINI SPLIT SYSTEM.</p> <p><b>MP2</b> WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GAL. OF WATER PER FLUSH; LAVATORIES LIMITED TO 1.2 GPM, KITCHEN FAUCETS NOT TO EXCEED 1.8 GPM AT 60 PSI THEY CAN INCREASE THE FLOW MOMENTARILY BUT CANNOT EXCEED 2.2 GALLONS PER MIN. AT 60 PSI AND MUST DEFAULT TO A MAX. FLOW RATE OF 1.8 GALLONS PER MIN AT 60 PSI, AND SHOWERS NOT EXCEED 1.8 GPM AT 60 PSI AND ALL SHALL BE CERTIFIED TO MEET THE PERFORMANCE CRITERIA OF THE EPA WATER SAVING SPECIFICATIONS FOR SHOWERHEADS. CPC SECTIONS 407, 408, 411, 412 AND SECTION 301.1.1 CALGREEN CODE AND CIVIL CODE 1501.3(i).</p> <p><b>MP3</b> EXHAUST HOOD ABOVE/ TO BE SMOOTH METALLIC INTERIOR SURFACE (CMC 504.3).</p> <p><b>MP4</b> NEW WATER HEATER - TO HAVE CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS GRAVITY DRAINAGE.</p> <p><b>MP5</b> CONTROL VALVES IN SHOWERS, BATH TUBS &amp; BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIX VALVES.</p> <p><b>MP6</b> MINIMUM OF 3 FT CLEARANCE TO ANY OPENING INTO BUILDING FOR EXHAUST FAN TERMINATIONS.</p> <p><b>MP7</b> CLEARANCE FOR WATER CLOSET TO BE A MIN. OF 24" IN FRONT, AND 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5).</p> <p><b>MP8</b> THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF WATER HEATER BOTH REQUIRE 1" INSULATION.</p> <p><b>MP9</b> DRYER EXHAUST OUTLET FROM DRYER TO EXTERIOR MAX LENGTH 14' WITH MAXIMUM OF TWO 90° ELBOWS EXHAUST VENT MUST TERMINATE A MIN. OF 3' FROM ANY OPENING. MIN. TYPE 1 CLOTHES DRYER EXHAUST DUCTS SHALL BE OF RIGID METAL &amp; SHALL HAVE SMOOTH INTERIOR SURFACES. THE DIAMETER SHALL BE NOT LESS THAN 4 INCHES NOMINAL (100 MM), &amp; THE THICKNESS SHALL BE NOT LESS THAN 0.016 (OF AN INCH (406 MM)). EXHAUST DUCTS &amp; DRYER VENTS SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.</p> <p><b>MP10</b> NEW WATER HEATER WITH T&amp;P RELIEF VALVE AND DISCHARGE PIPE AT EXTERIOR. PROVIDE COMBUSTION AIR AND CLEARANCES PER MANUFACTURER REQUIREMENTS.</p> <p><b>MP11</b> INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.</p> <p><b>MP12</b> ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 3" PIPE (2" INSULATION); 1" PIPE (1" INSULATION); 1/2" TO 1-1/2" PIPE (1-1/2" INSULATION).</p> <p><b>MP13</b> OUTDOOR CONDENSING UNIT TO BE PIPED TO INDOOR HVAC UNIT.</p> <p><b>MP14</b> A MINIMUM 160 GPM HOOD OVER ELECTRICAL RANGE INDOOR AIR QUALITY FAN IS REQUIRED IN THE KITCHEN AND SHALL BE HERV'S VERIFIED. (CALIFORNIA ENERGY CODE TABLE 150.0-G - 1750 SQ. FT.</p> <p><b>MP15</b> ALL HOSE CONNECTIONS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS. (CPC 603.3.3)</p>	<p><b>E1</b> DEDICATED 30 AMP/ 240V POWER FOR ELECTRIC DRYER OR OVEN. VERIFY REQUIREMENTS WITH APPLIANCE SPECIFICATIONS.</p> <p><b>E2</b> OUTLET FOR NEW WATER HEATER WITHIN 3' OF WATER HEATER.</p> <p><b>E3</b> ELECTRICAL - SUB PANEL LOCATION</p> <p><b>E4</b> OUTLET AT COUNTER HEIGHT - SHALL COMPLY WITH CEC ARTICLE 210.52(C); IN KITCHENS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24" ISLAND IN PENINSULAR COUNTERTOPS 12" X 24" LONG (OR GREATER) SHALL HAVE AT LEAST ONE RECEPTACLE.</p> <p><b>E5</b> OUTDOOR LIGHTING FIXTURES ARE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A COMBINATION PHOTOCONTROL / MOTION SENSOR.</p> <p><b>E6</b> OUTLET DEDICATED FOR INDOOR HVAC UNIT</p> <p><b>E7</b> WEATHER RESISTANT TYPE RECEPTACLES GFCI PROTECTED</p> <p><b>E8</b> OVER-CURRENT FEEDER TO EXTEND TO EXISTING PANEL- ALUMINUM CONDUCTOR BURIED UNDER GROUND WITH AVG ALLOWABLE VOLTAGE DROP PER CEC 250.4</p> <p><b>E9</b> SEPARATE GROUND ELECTRODE SYSTEM PER CEC 250.4</p> <p><b>E10</b> OUTDOOR CONDENSING UNIT RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF THE HEATING AND COOLING EQUIPMENT AND SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THIS RECEPTACLE SHALL BE GFCI-WP PROTECTED.</p> <p><b>E11</b> A DISCONNECTING MEANS CAPABLE OF DISCONNECTING AIR-CONDITIONING AND REFRIGERATING EQUIPMENT, INCLUDING MOTOR-COMPRESSORS AND CONTROLLERS FROM THE CIRCUIT CONDUCTOR IS REQUIRED WITHIN SIGHT FROM THE EQUIPMENT LOCATION PER CEC SECTION 400.11</p> <p><b>E12</b> PER CEC 2022 150.0(N), 1.A. THE DESIGNATED SPACE AND WATER HEATER IS TO COMPLY WITH ELECTRICAL NOTES 15A16 ON SHEET G0.2</p> <p><b>E13</b> CONTRACTOR TO VERIFY MAIN PANEL</p>	<p><b>MECHANICAL</b></p> <p>EXHAUST FAN: MINIMUM 50 CFM TO BE DUCTED TO THE EXTERIOR AND SHALL PROVIDE FIVE AIR CHANGES PER HOUR. SECTION 1203.3. CFM AND NOISE RATING MAXIMUM 3 SONE FOR INTERMITTENT USE. SHALL BE ENERGY STAR RATED AND CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50-80% HUMIDITY.</p> <p>DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> <li>ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ ACCA 2 MANUAL J-2011 OR EQUIVALENT.</li> <li>SIZE DUCT SYSTEMS ACCORDING TO ANSI/ ACCA 1 MANUAL D-2014 OR EQUIVALENT</li> <li>SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA 3 MANUAL S-2014 OR EQUIVALENT.</li> </ol> <p><b>MECHANICAL / PLUMBING LEGEND</b></p> <p>RETURN AIR GRILLE, WALL MOUNTED</p> <p>SUPPLY AIR DIFFUSER, WALL MOUNTED</p> <p>THERMOSTAT</p> <p>HOSE BIB</p>	<p><b>FIRE DETECTION</b></p> <p><b>R314</b> SMOKE DETECTORS PER SECTION R314 DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP. SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.</p> <p>SHALL COMPLY WITH THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING-MOUNTED FAN</li> <li>NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM</li> <li>AT LEAST 20" FROM A COOKING APPLIANCE OR 10" FROM COOKING APPLIANCE WHEN THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4</li> <li>AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM</li> </ul> <p><b>24</b> CARBON MONOXIDE ALARM PERMANENTLY WIRED WITH BATTERY BACKUP PER SECTION R315. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.</p> <p><b>POWER/DATA</b></p> <p>TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110 V DUPLEX U.O.N.</p> <p>GFI = WATER PROOF GFCI CT = COOKTOP/ GRILL 240 V O = OVEN 240 V MW = MICROWAVE 110 V GD = GARBAGE DISPOSAL 110 V R = RANGE 220V C = COUNTER HEIGHT 6" ABV COUNTER IDU = INDOOR UNIT POWER 64" AFF W/D = WASHER/DRYER 30AMP/ 240AMP</p> <p>PHONE / DATA / MEDIA CEILING, WATERPROOF OUTLET FLOOR MOUNTED DUPLEX RECEPTACLE, VERIFY LOCATION IN FIELD. SPECIAL PURPOSE CONNECTION (VOLTAGE SHALL MATCH APPLIANCE REQ.) SUB PANEL</p> <p><b>SWITCHING</b></p> <p>SWITCH, MOUNT AT 43" AFF THREE-WAY SWITCH FOUR-WAY SWITCH DIMMER SWITCH MOUNT 6" ABV COUNTER</p> <p><b>MISC.</b></p> <p>CEILING FAN/LIGHT COMBO CIRCUIT WIRING DOOR BELL BUTTON</p> <p><b>LIGHTING</b></p> <p>CEILING, RECESSED, DIRECTIONAL, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED LED BULB CEILING, RECESSED, ZERO CLEARANCE IC RATED, WATER RESISTANT, LED BULB WALL MOUNTED LIGHT JUNCTION BOX FLUSH CEILING MOUNTED UNDER COUNTER LIGHTING LOW VOLTAGE, LANDSCAPE LIGHT FLUORESCENT FIXTURE (USE SLOW TUBE WHEN UNDER COUNTER)</p> <p><b>BATHROOM EXHAUST FAN REQUIREMENTS:</b> PER CGBC 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWINGS: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. A HUMIDITY CONTROL SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 40% TO 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. B. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E. BUILT IN)</p> <p><b>RESIDENTIAL ENERGY LIGHTING REQUIREMENTS: ES 150.0(K)</b></p> <p>"IN THE KITCHEN, AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY." "IN THE BATHROOMS, AT LEAST ONE FIXTURE SHALL BE HIGH EFFICACY AND ALL REMAINING FIXTURES SHALL BE HIGH EFFICACY OR BE CONTROLLED BY A VACANCY SENSOR." "LIGHTING INSTALLED IN GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND BE CONTROLLED BY VACANCY SENSORS."</p>

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revisions

description  
**Mechanical/  
Electrical/  
Plumbing  
Plan - Reverse**

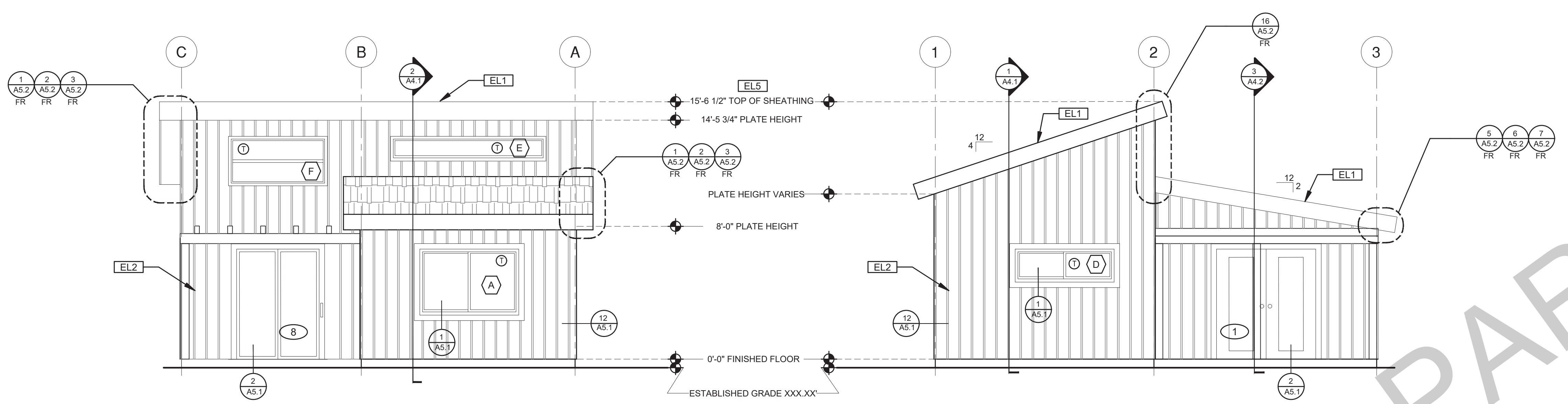
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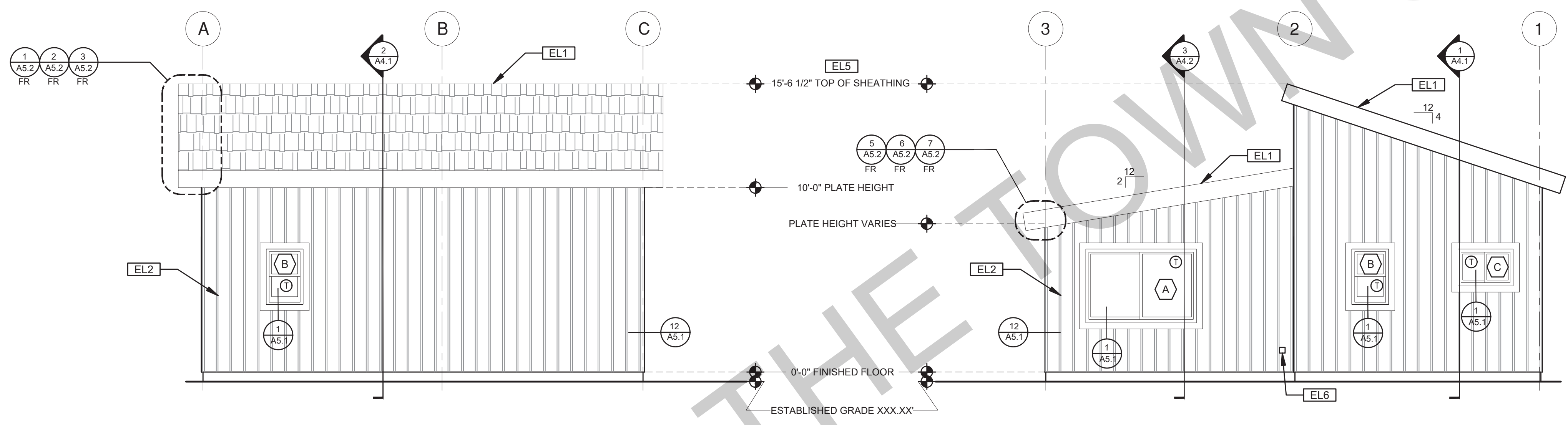
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ELEVATION - A  
1/4"=1'-0"

ELEVATION - B  
1/4"=1'-0"



ELEVATION - C  
1/4"=1'-0"

ELEVATION - D  
1/4"=1'-0"

**ELEVATION KEYNOTES**

EL1	MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS
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EL3	STUCCO
EL4	STONE VENEER
EL5	HEIGHT IS MEASURED AT THE BUILDING LINE, FROM THE LOWER OF EXISTING AND PROPOSED GRADES
EL6	DRYER VENT (WUI COMPLIANT) TERMINATION (MINIMUM OF 3 FT FROM ANY OPENING)

**ELEVATION GENERAL NOTES**

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- SEE SCHEDULE FOR DOOR AND WINDOW INFORMATION AND HEIGHTS
- LATH & PLASTER
  - MATERIALS FOR PLASTER IS TO BE THE STANDARD PRODUCTS OF RECOGNIZED MANUFACTURERS, AND SHALL BE AS MANUFACTURED BY US GYPSUM CO. AND APPROVED BY THE LATH AND PLASTER INSTIGAT OR APPROVED EQUAL.
  - ALL PLASTER CORNER BEADS, CASING BEADS, CONTROL JOINTS, EXPANSION SCREDS AND ACCESSORIES ARE TO BE GALVANIZED. PROVIDE CASING BEADS AT ALL JOINTS OF STUCCO TO DISSIMILAR SURFACES UNLESS OTHERWISE NOTED.
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**LEGEND**

	SECTION CUT		KEYNOTE		SPRAY FIN. STUCCO
	ELEVATION CALLOUT		DOOR SYMBOL		BOARD & BATTEN
	DETAIL DRAWING REF.		WINDOW SYMBOL		GLAZING
	ELEVATION MARKER		TEMPERED GLASS		ROOFING

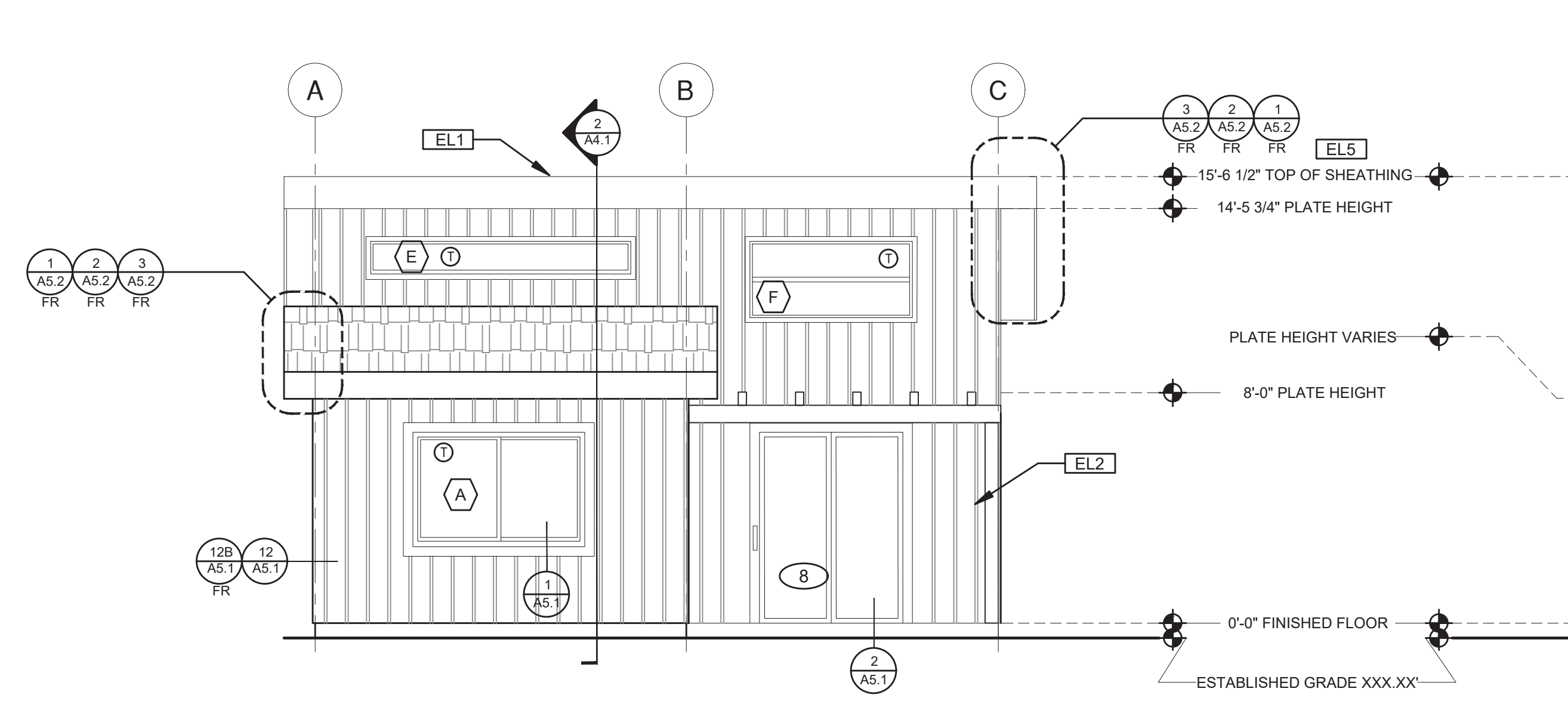
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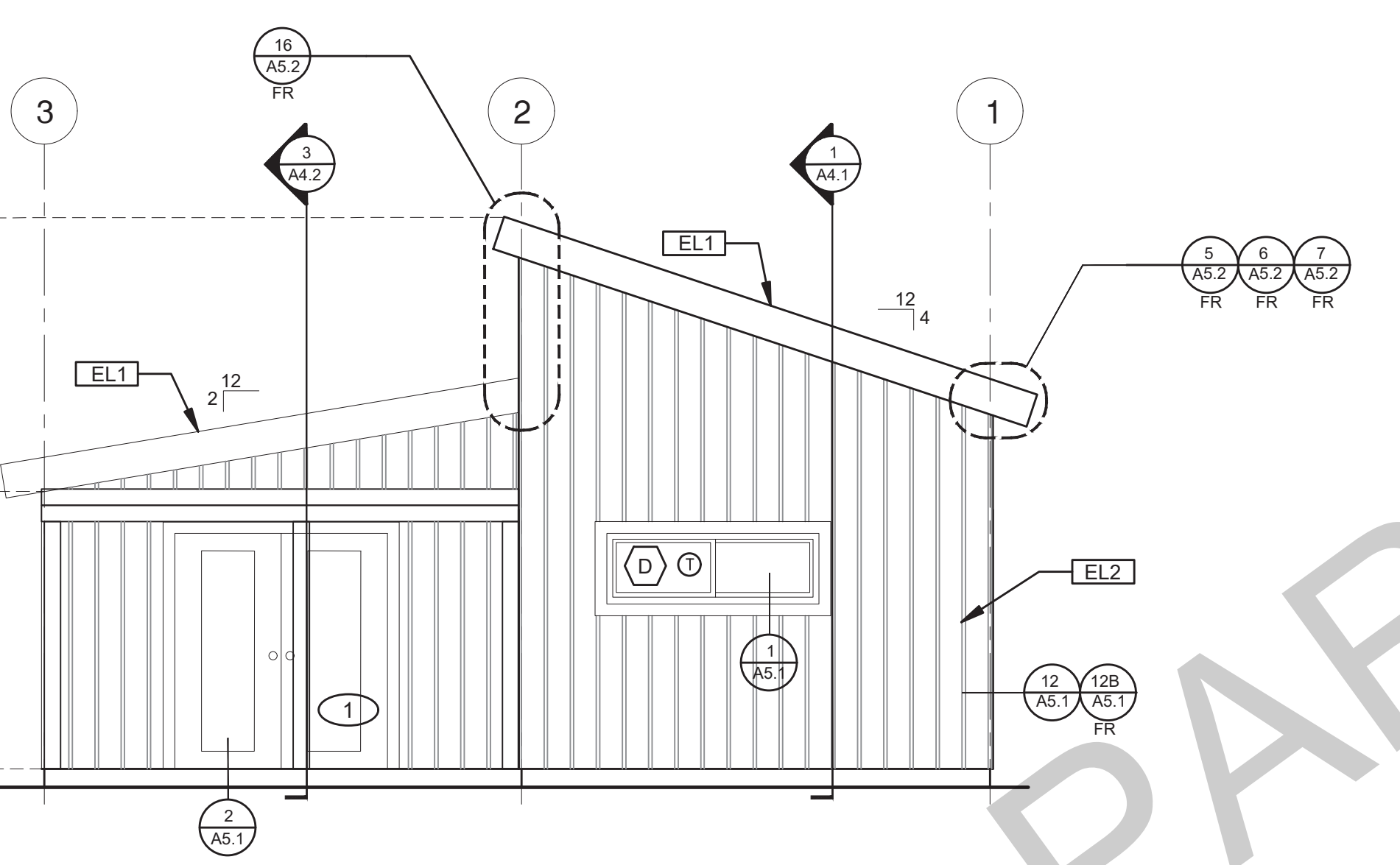
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**Exterior Elevations**

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 project no. 20##\_xxxxxx  
 drawn by xxx/xxx  
 sheet no. **A3.1**

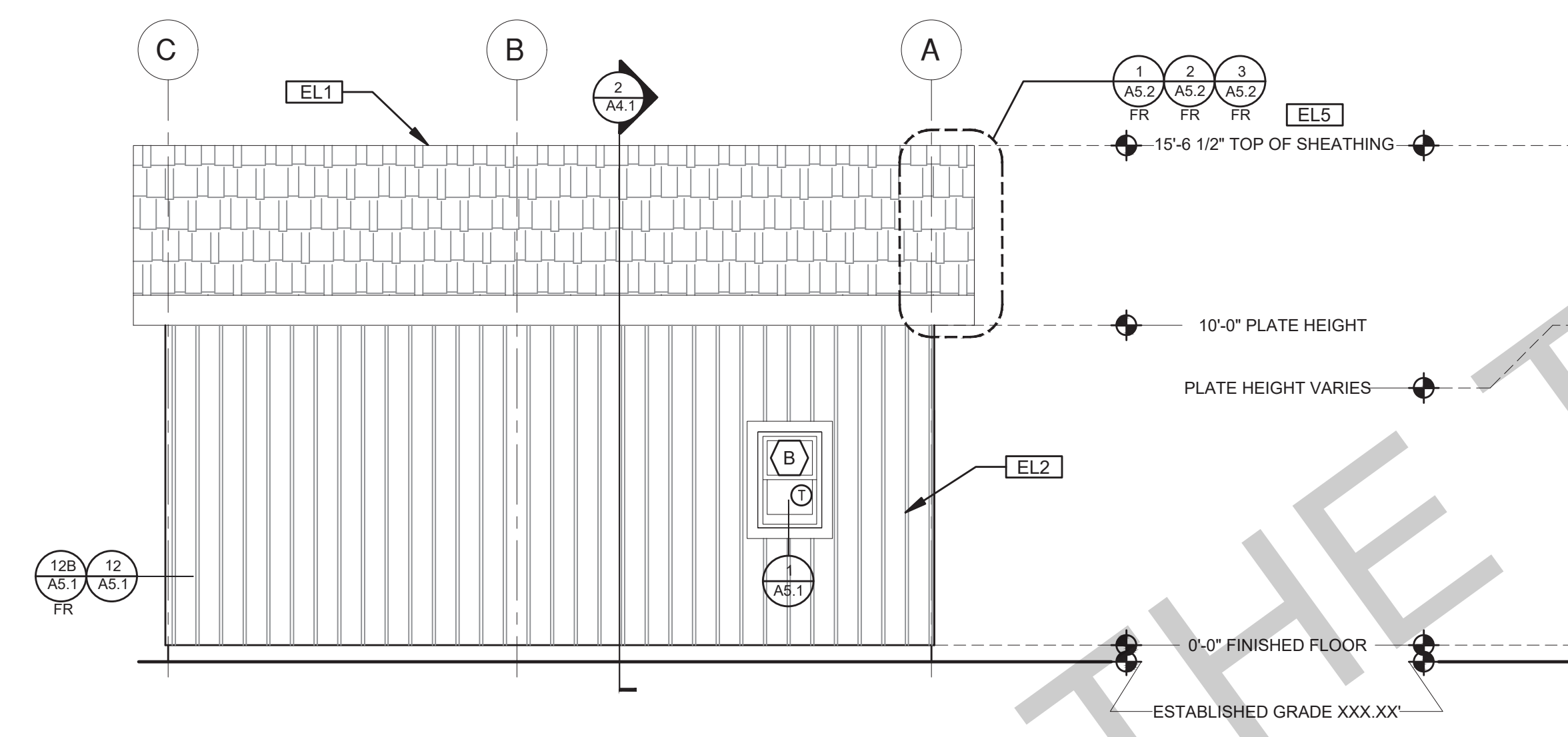




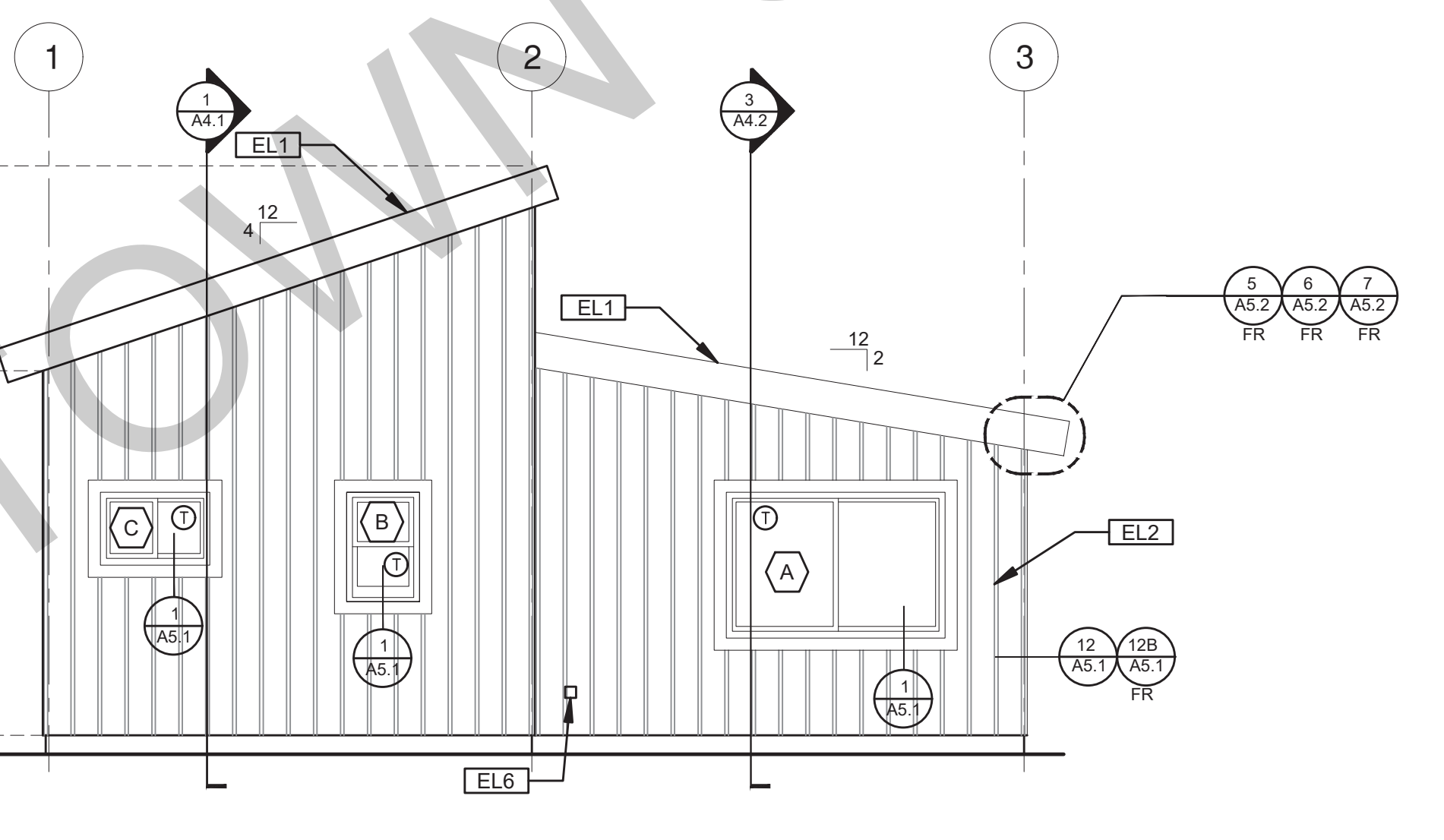
**ELEVATION - A**  
1/4"=1'-0" COOP (REVERSE)



**ELEVATION - B**  
1/4"=1'-0" COOP (REVERSE)



**ELEVATION - C**  
1/4"=1'-0" COOP (REVERSE)



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**LEGEND**

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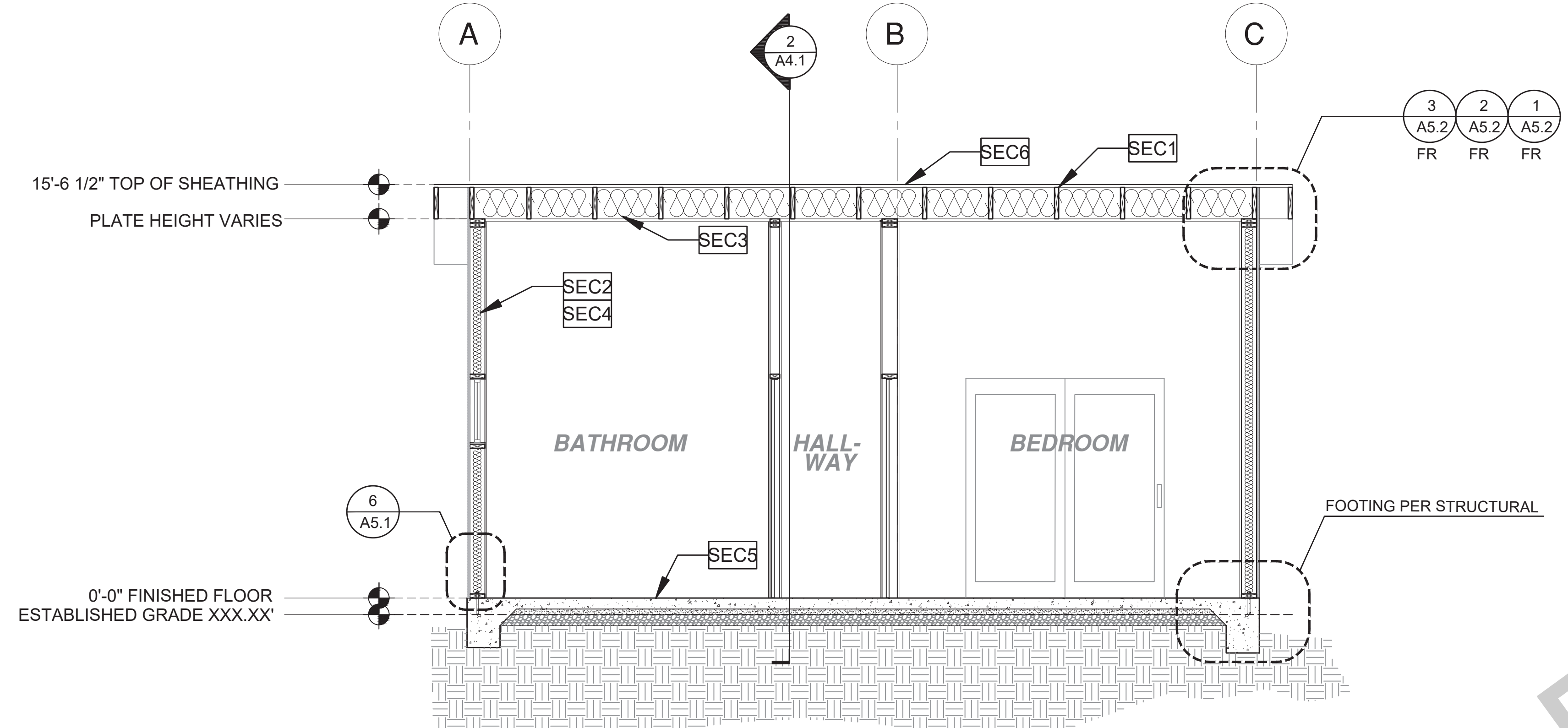
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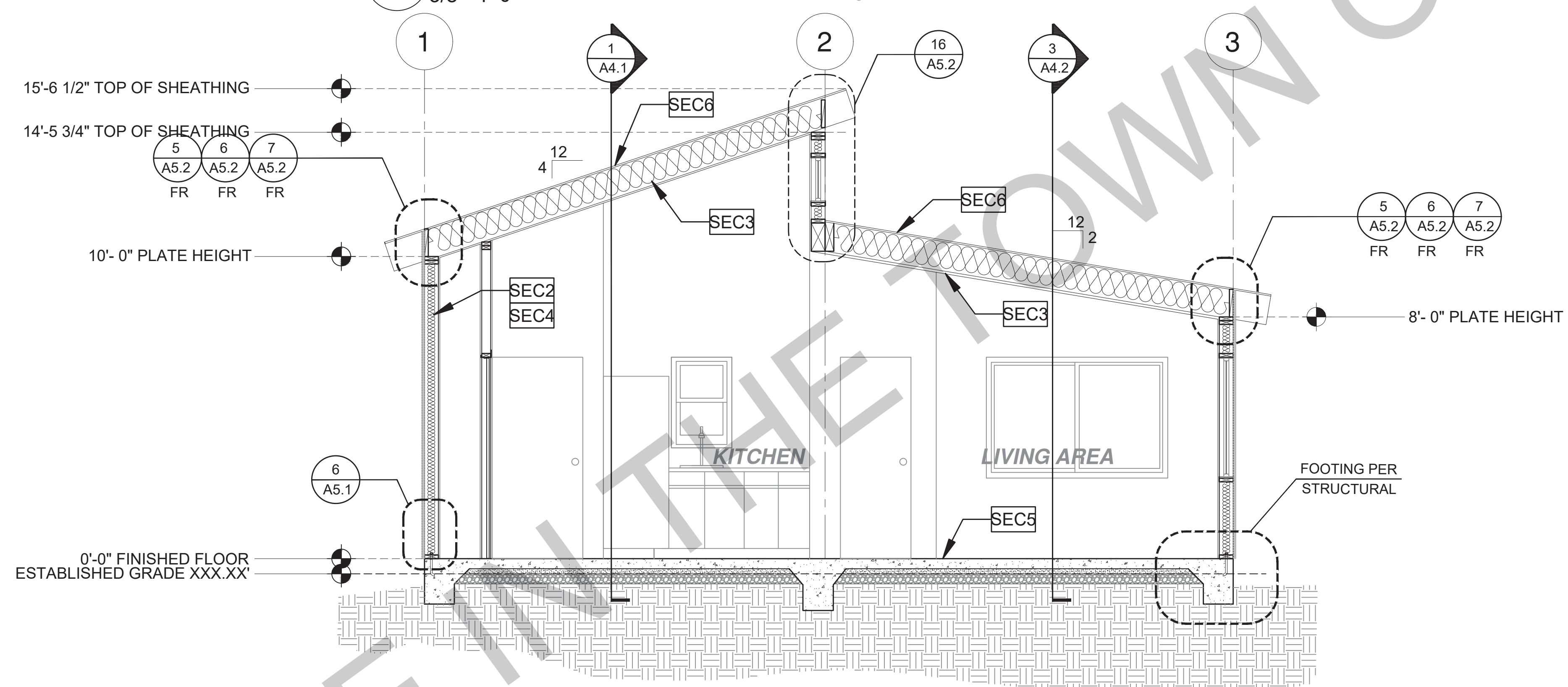
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**Exterior Elevations - Reverse**

date ## Month 20##  
 project no. 20##\_xxxxxx  
 drawn by xxx/xxx  
 sheet no. **A3.1R**





SECTION - 1 BEDROOM  
3/8"=1'-0"



SECTION - 1 BEDROOM  
3/8"=1'-0"

**SECTION KEYNOTES**

- SEC1** RAFTERS PER PLAN SEE STRUCTURAL
- SEC2** 2X STUDS @ 16" O.C. - SEE STRUCTURAL
- SEC3** CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS
- SEC4** WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS
- SEC5** CONC. SLAB ON GRADE SEE STRUCTURAL
- SEC6** MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS

**SECTION GENERAL NOTES**

1. METALS  
SEE PLANS AND DETAILS FOR LOCATIONS. QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.
2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN. 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.
3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.
4. WOOD SOFFIT/CEILING, SIDING & TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.
5. INSULATION  
THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.
6. FLASHING AND SHEET METAL  
ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.
7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIAL ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, & STRUCTURAL PLANS.  
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2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11:  
A. SECTION R302.11:  
1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
A. VERTICALLY AT CEILING AND FLOOR LEVELS  
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT
9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS
10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19  
FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION
11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:  
1. TWO-INCH NOMINAL LUMBER WITH  
2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS  
3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS  
4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD  
5. ONE-HALF-INCH GYPSUM BOARD  
6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD  
7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE  
8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION

**LEGEND**

- SECTION CUT
- ELEVATION CALLOUT
- DETAIL DRAWING REF.
- ELEVATION MARKER

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ADU Program

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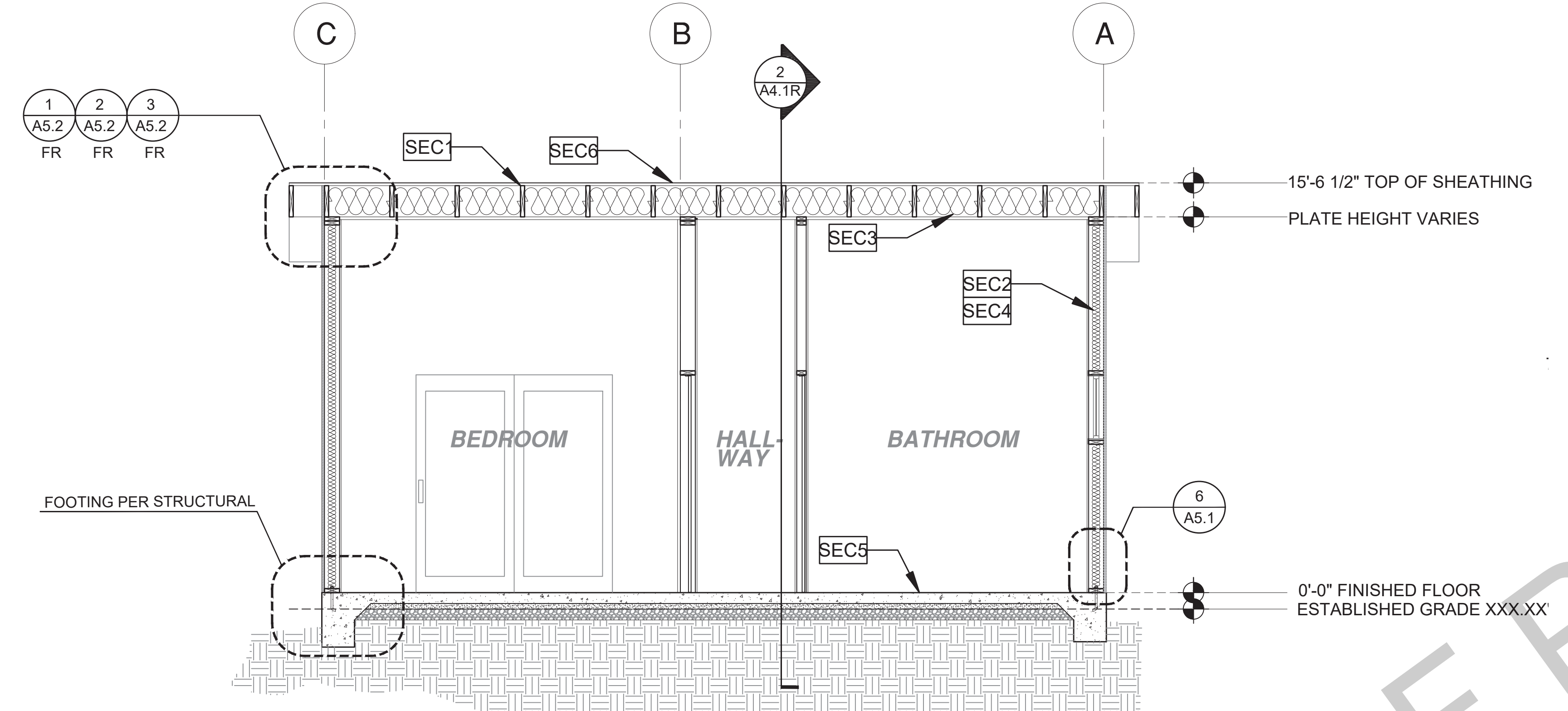
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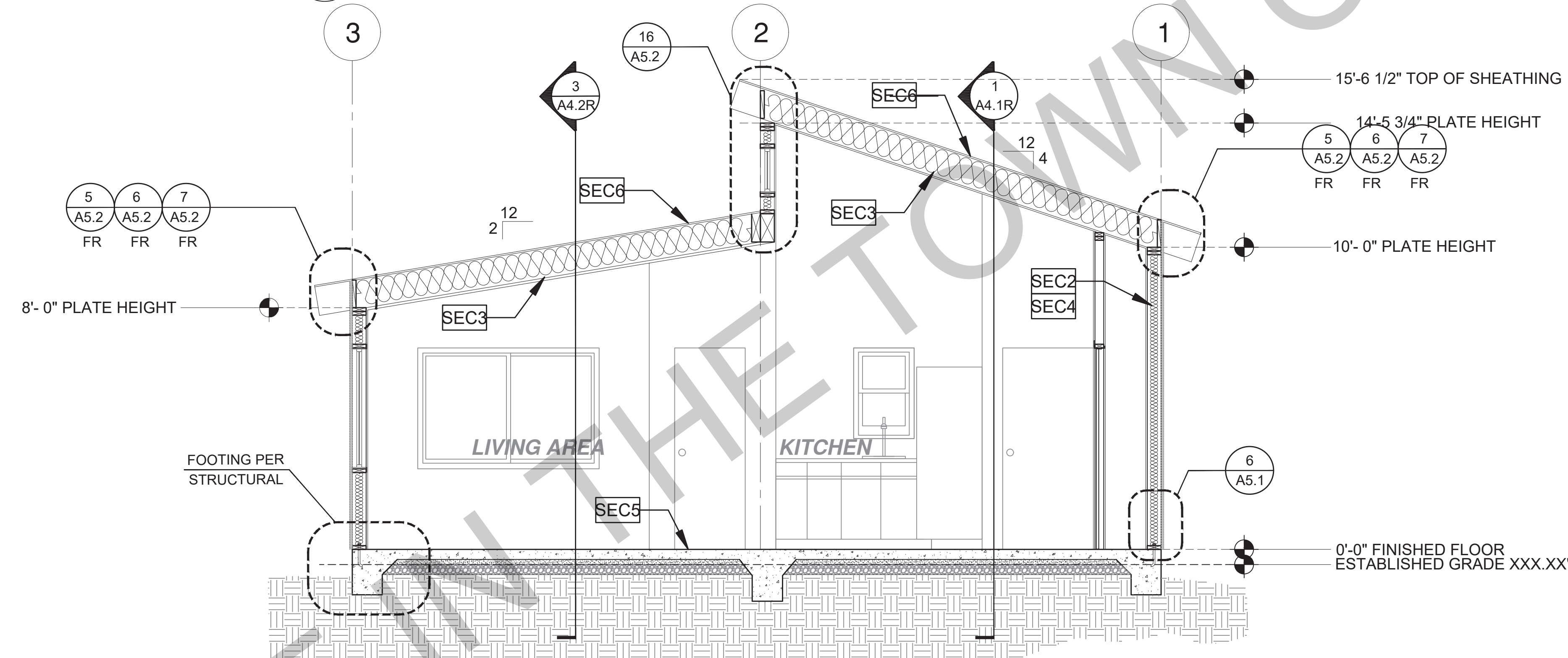
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SECTION - 1 BEDROOM  
3/8"=1'-0" COOP (REVERSE)



SECTION - 1 BEDROOM  
3/8"=1'-0" COOP (REVERSE)

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM CLASS A ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/2" OPENING SIZE ON VENT SCREEN WITH CORROSION-RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIAL ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS 1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION 2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19 FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER WITH 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>

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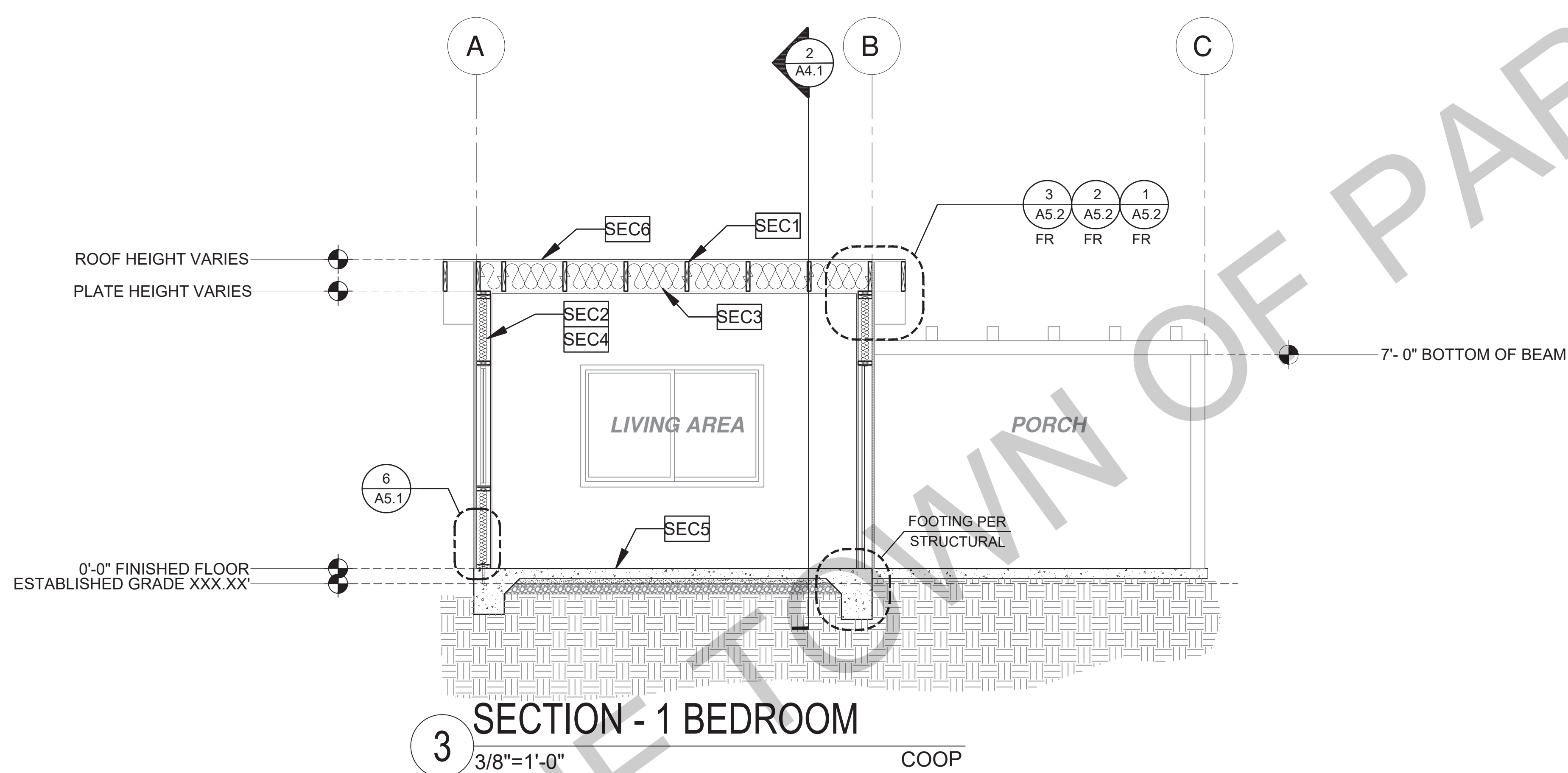
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3 SECTION - 1 BEDROOM  
3/8"=1'-0" COOP

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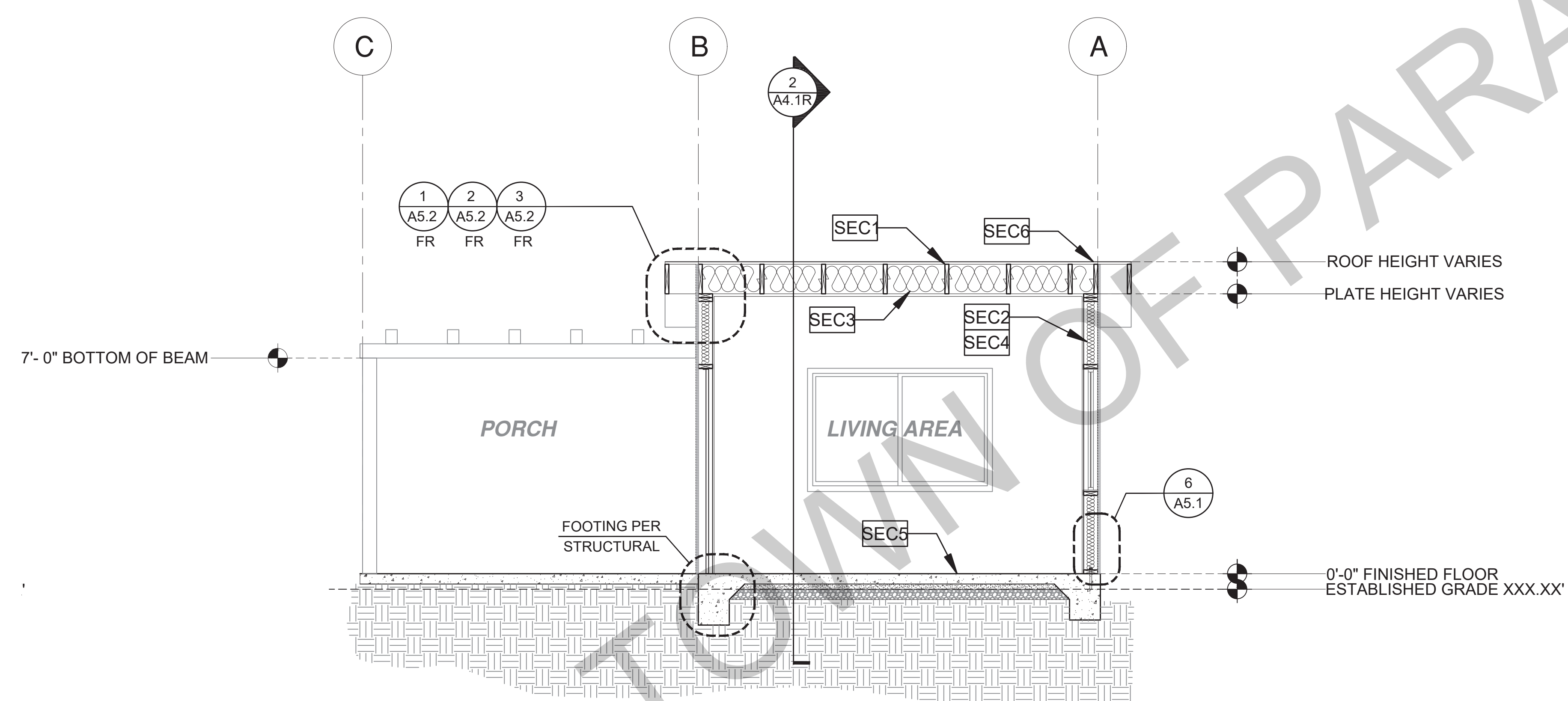
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SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM GLASS ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION, THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19</p> <p>FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATT OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>





3 SECTION - 1 BEDROOM  
3/8"=1'-0"  
COOP (REVERSE)

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Reverse

date ## Month 20##

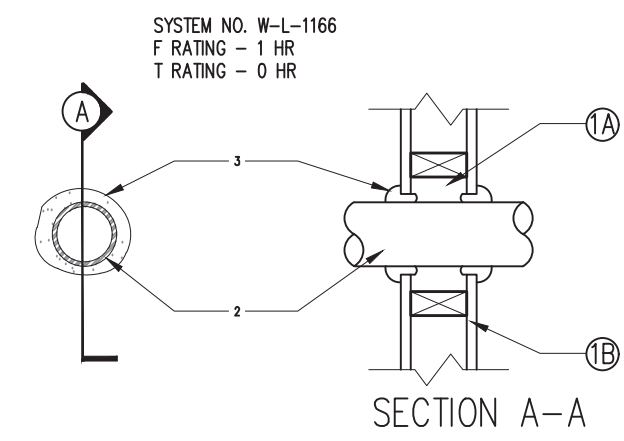
project no. 20##\_####

drawn by xxx/xxx

sheet no. **A4.2R**

SECTION KEYNOTES	SECTION GENERAL NOTES	LEGEND
<p><b>SEC1</b> RAFTERS PER PLAN SEE STRUCTURAL</p> <p><b>SEC2</b> 2X STUDS @ 16" O.C. - SEE STRUCTURAL</p> <p><b>SEC3</b> CEILING INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC4</b> WALL INSULATION PER TITLE 24 ENERGY CALCULATIONS</p> <p><b>SEC5</b> CONC. SLAB ON GRADE SEE STRUCTURAL</p> <p><b>SEC6</b> MINIMUM GLASS ROOF ASSEMBLY - SEE SHEET T1.1 FOR MANUFACTURER SPECIFICATIONS</p>	<p>1. METALS SEE PLANS AND DETAILS FOR LOCATIONS, QUANTITY AND CONFIGURATION OF MISCELLANEOUS IRON AND STEEL WORK INCLUDING ASSORTED CLIPS, BRACKETS ANGLES, STRAPS, POST ANCHORS AND LIKE ITEMS. FURNISH AND INSTALL ALL SUCH ITEMS NECESSARY TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY DETAILED OR NOTED ON THE DRAWINGS. ALL EXTERIOR METAL AND HARDWARE IS TO BE GALVANIZED. STEEL IS TO BE ASTM A3.</p> <p>2. RAFTER VENTS ARE TO BE STAINLESS STEEL MESH AND ARE TO BE SIZED TO MEET REQUIRED VENTILATION TO ENCLOSED RAFTER SPACES. MAX 1/2" MIN 1/4" OPENING SIZE ON VENT SCREEN WITH CORROSION RESISTANT WIRE SCREEN MATERIAL.</p> <p>3. FRAMER IS TO LAYOUT CEILING JOISTS/ROOF RAFTERS TO ACCOMMODATE RECESSED LIGHTS EXHAUST FANS OR OTHER ELECTRICAL/MECHANICAL FIXTURES.</p> <p>4. WOOD SOFFIT/CEILING, SIDING &amp; TRIM ALL NAILS, FASTENERS AND HARDWARE MUST BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED. STAPLES ARE NOT PERMITTED.</p> <p>5. INSULATION THERMAL INSULATION IS TO BE FOIL BACKED BATT INSULATION WITH AN R VALUE NOT LESS SPECIFIED IN THE TITLE 24 ENERGY CALCULATIONS. AT BATHROOMS, LAUNDRY ROOM, AND MASTER BED/BATHROOMS INSULATION IS TO BE PROVIDED WITH SOUND INSULATION.</p> <p>6. FLASHING AND SHEET METAL ALL FLASHING AND COUNTER FLASHING IS TO BE GALVANIZED AND INSTALLED AS PER SMACNA STANDARDS. ALL PROPOSED FLASHING AND SHEET METAL MATERIALS, GAUGE AND INSTALLATION IS TO BE IN ACCORDANCE WITH SMACNA MANUAL STANDARDS.</p> <p>7. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.</p> <p>8. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, &amp; STRUCTURAL PLANS. *KEYNOTES ONLY APPLY IF REFERENCED ON PLANS</p> <p>1. INSULATION: REFER TO TITLE 24 REPORT FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION</p> <p>2. FIRE BLOCKING TO BE LOCATED AT THE FOLLOWING LOCATIONS PER 2022 CRC SECTION R302.11: A. SECTION R302.11: 1. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A. VERTICALLY AT CEILING AND FLOOR LEVELS B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10FT</p> <p>9. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS</p> <p>10. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME PRODUCTS OF COMBUSTION, THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS</p> <p>FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19</p> <p>FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING-UNIT SEPARATION</p> <p>11. SECTION R302.11.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS: 1. TWO-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 2. TWO THICKNESS OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS 3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS 4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD 5. ONE-HALF-INCH GYPSUM BOARD 6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD 7. BATT OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263, FOR THE SPECIFIC APPLICATION</p>	<p><b>LEGEND</b></p> <p>SECTION CUT</p> <p>ELEVATION CALLOUT</p> <p>DETAIL DRAWING REF.</p> <p>ELEVATION MARKER</p>





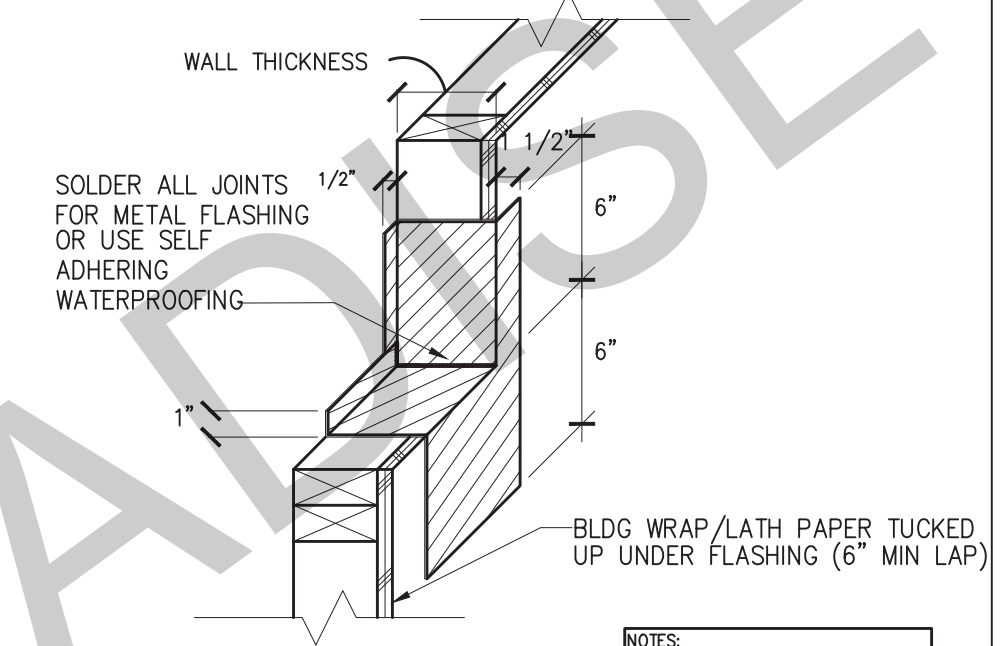
SYSTEM NO. W-1-1166  
F RATING - 1 HR  
T RATING - 0 HR

1. WALL ASSEMBLY  
THE 1 HR FIRE RATED GYPSUM WALLBOARD/STUCCO WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN THE INDIVIDUAL USDO OR IADO SERIES WALL AND PARTITION DESIGNS IN UL FIRE RESISTANCE DIRECTORY & SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:  
A. STUCCO-WALL FRAMING MAY CONSIST OF OTHER WOOD STUDS OR STEEL CHANNEL STEEL. WOOD STUDS TO CONSIST OF NOM. 2 IN BY 4 IN LUMBER SPACED 16 IN. O.C. STEEL STUDS TO BE MIN. 3 1/2 IN. WIDE & SPACED MAX. 24 IN. O.C.  
B. GYPSUM BOARD (BEARING THE UL CLASSIFICATION MARKING)-THICKNESS, TYPE, NUMBER OF LAYERS AND FASTENERS AS REQUIRED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX. DIAM. OF OPENING IS 5 IN. THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS EQUAL TO THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED.

2. THROUGH - PENETRANTS  
ONE METALLIC PIPE, CONDUIT OR TUBING INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRESTOP SYSTEM. THE ANNULAR SPACE BETWEEN THE PIPE, CONDUIT OR TUBING AND PERIPHERY OF THE OPENING SHALL BE MIN. OF 0 IN. (POINT CONTACT) TO A MAX. 1/8 IN. PIPE CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUITS OR TUBING MAY BE USED:  
A. COPPER TUBING-NOM. 4 IN. DIAM. (OR SMALLER) TYPE M (OR HEAVIER) COPPER TUBING.  
B. COPPER PIPE-NOM. 4 IN. DIAM. (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE.  
C. STEEL PIPE-NOM. 4 IN. DIAM. (OR SMALLER) SCHEDULE 5 (OR HEAVIER) STEEL PIPE.  
D. CONDUIT-NOM. 4 IN. DIAM. (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR RIGID STEEL CONDUIT.  
E. IRON PIPE-NOM. 4 IN. DIAM. (OR SMALLER) CAST OR DUCTILE IRON PIPE.

3. FILL, VOID OR CAVITY MATERIALS (BEARING THE UL CLASSIFICATION MARKING) -CAULK OR PUTTY MIN. 1/2 IN. DIAMETER BEAD CAULK OR PUTTY APPLIED CONTINUOUSLY AROUND THE PENETRATE ON THE WALL SURFACES ON BOTH SIDES OF THE WALL. -3M COMPANY -CP 25MB+ CAULK OF MPS-2+ PUTTY

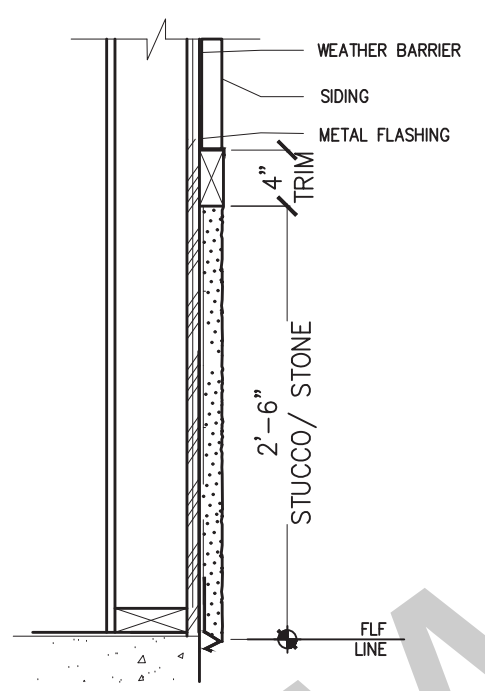
10 THROUGH PENETRATION @ WALL SCALE: NTS



WALL THICKNESS  
SOLDER ALL JOINTS 1/2"  
FOR METAL FLASHING  
OR USE SELF  
ADHERING  
WATERPROOFING  
6"  
6"  
BLDG WRAP/LATH PAPER TUCKED  
UP UNDER FLASHING (6" MIN LAP)

NOTES:  
REFER TO AAMA 2400-10 STANDARD  
PRACTICE FOR INSTALLATION OF  
WINDOWS WITH MOUNTING FLANGES IN  
STUD CONSTRUCTION FOR ADDITIONAL  
REQUIREMENTS

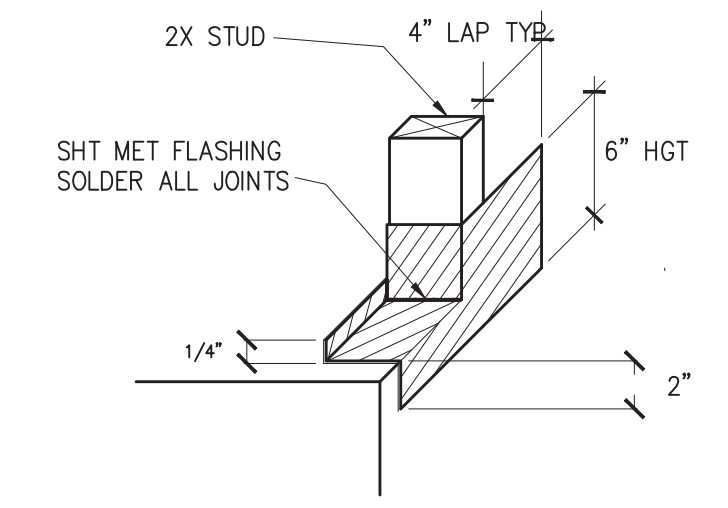
1 WINDOW SILL FLASHING SCALE: 1/2"=1'-0"



FLASHING PAPER, MOSTOP FLASHING OR EQUAL (9" WIDE MIN.) @ NAILING FIN @ TOP OF WINDOWS (HEAD) TYP. TWO CONTINUOUS BEADS OF MOSTOP SEALANT OR EQUAL UNDER FLASHING PAPER (1) @ NAILING FIN AND (1) AT TOP OF NAILING FIN.  
FLASHING PAPER, SELF SEALING MEMBRANE, (9" WIDE MIN.) @ WOOD FRAMING & UNDER NAILING FIN @ SIDE OF WINDOWS (JAMB) TYP.

NOTES:  
① INDICATES SEQUENCE FOR INSTALLATION  
① MOST STOP FLASHING PAPER TYP. OF FLASHING PAPER  
THE ACTUAL NUMBER OF FLASHING PIECES REQUIRED IS DETERMINE BY THE RADIUS OF THE OPENING AND THE SIZE OF THE FLASHING. (9" WIDE FLASHING MIN.)  
APPLY A CONTINUOUS BEAD OF SEALANT COMPLYING WITH AAMA 800 TO THE BACKSIDE (INTERIOR) OF THE WINDOW MOUNTING FLANGES  
AT WINDOW HEAD, JAMBS AND SILL ALL CORROSIVE RESISTANT FASTENERS ARE TO BE NAILED THROUGH FIN NO CLOSER THAN 3" O.C. AND NOT MORE THAN 16" O.C.  
FASTENERS SHALL BE WITHIN 10" FROM CORNERS NO NAILS SHALL BE BENT OVER THE NAILING FIN TO SECURE WINDOW  
REFER TO AAMA 2400-10 STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH MOUNTING FLANGES IN STUD CONSTRUCTION FOR ADDITIONAL REQUIREMENTS

8 TRIM DETAIL RANCH SCALE: NTS

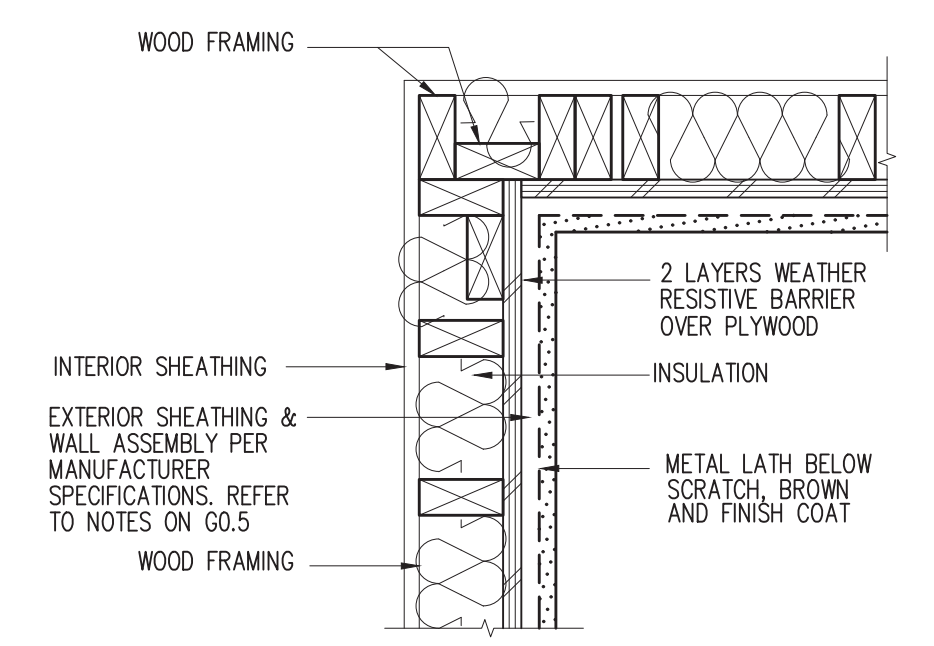


2X STUD 4" LAP TYP.  
6" HGT  
SHT MET FLASHING  
SOLDER ALL JOINTS  
1/4" 2"

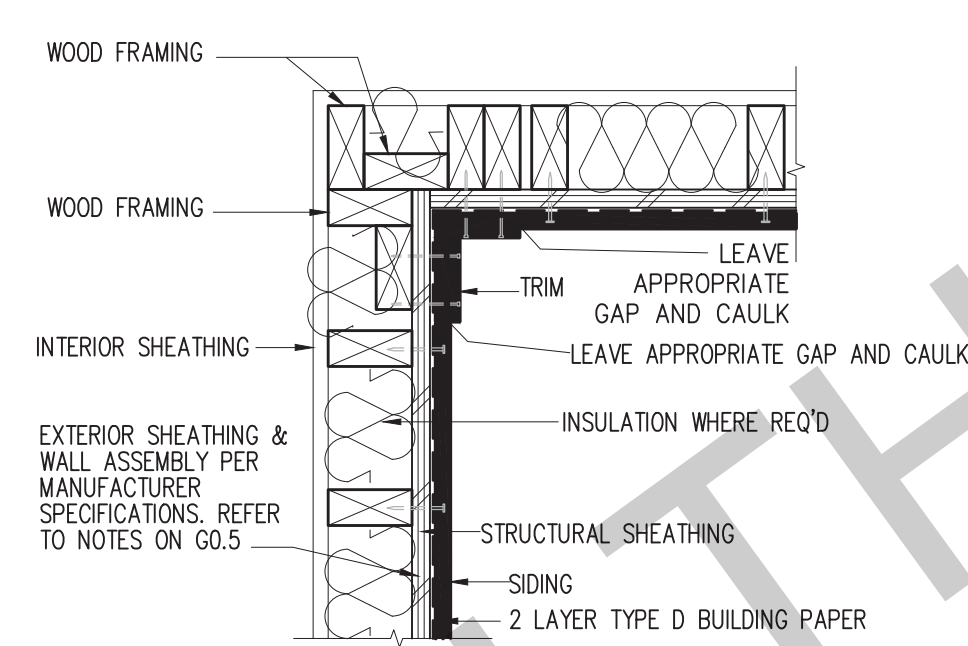
\*PROVIDE SOLID BLOCKING AT ALL FLASHING LOCATIONS

5 WINDOW FLASHING SCALE: NTS

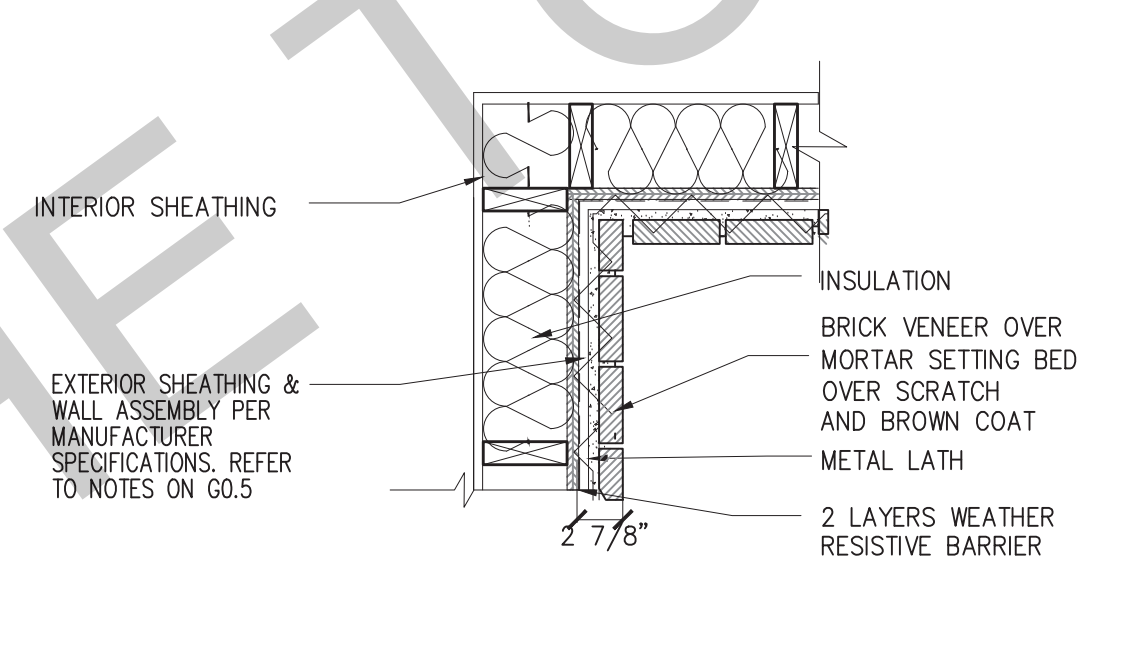
2 DOOR THRESHOLD FLASHING SCALE: 1/2"=1'-0"



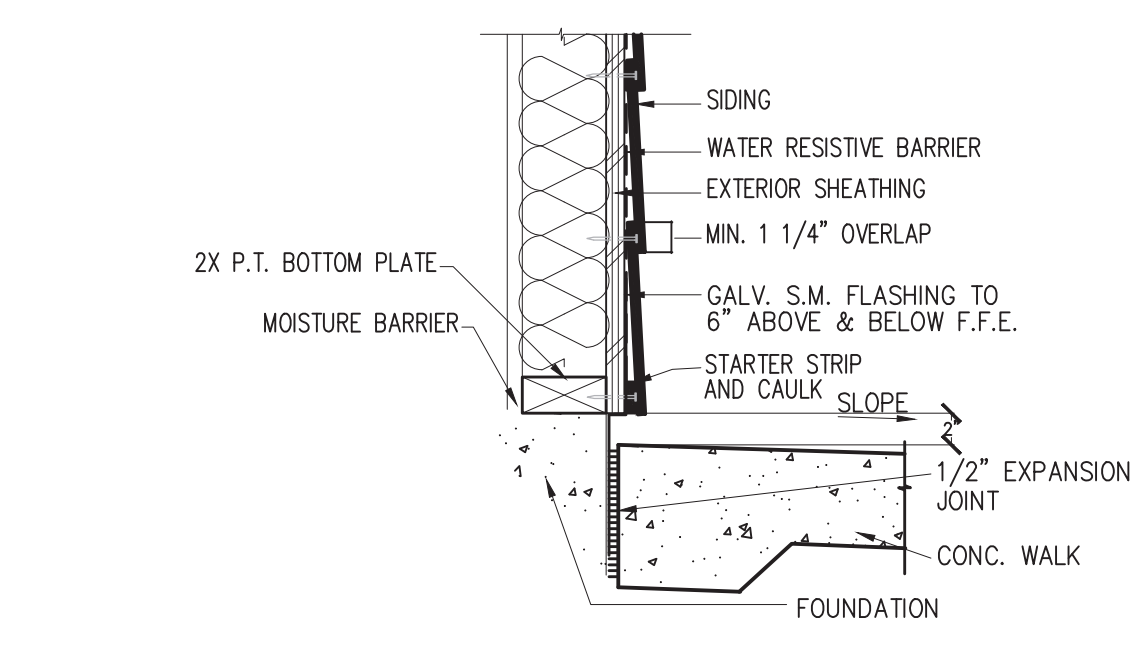
14 STUCCO AT INSIDE CORNER



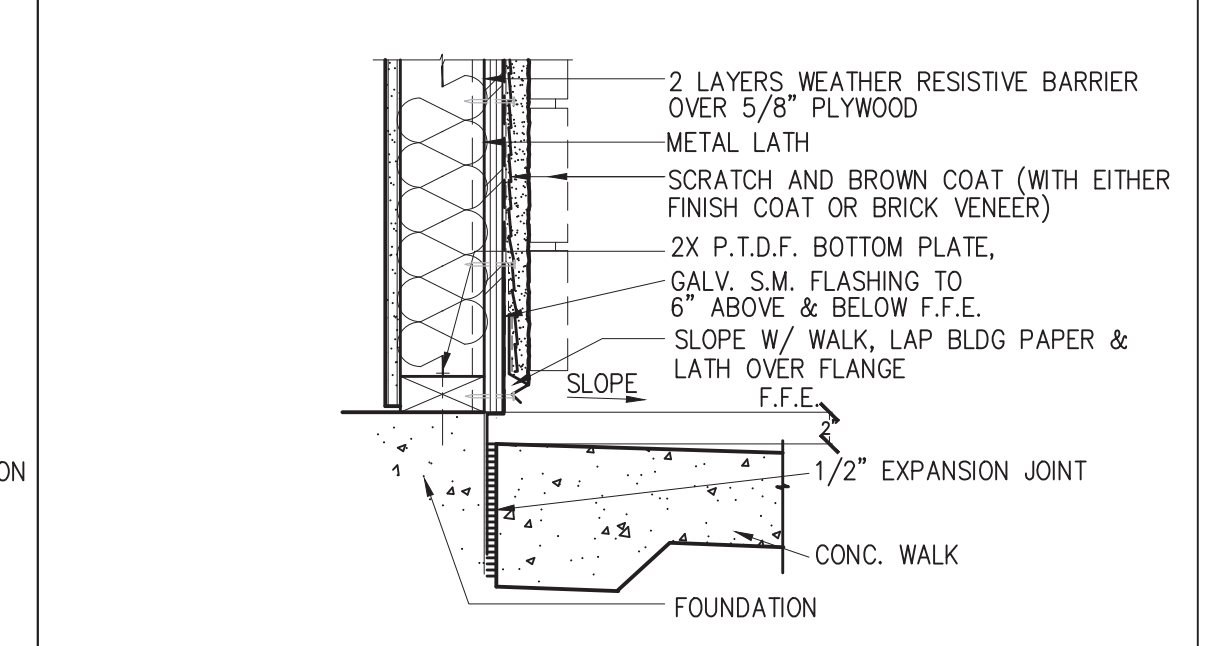
11 SIDING AT INSIDE CORNER



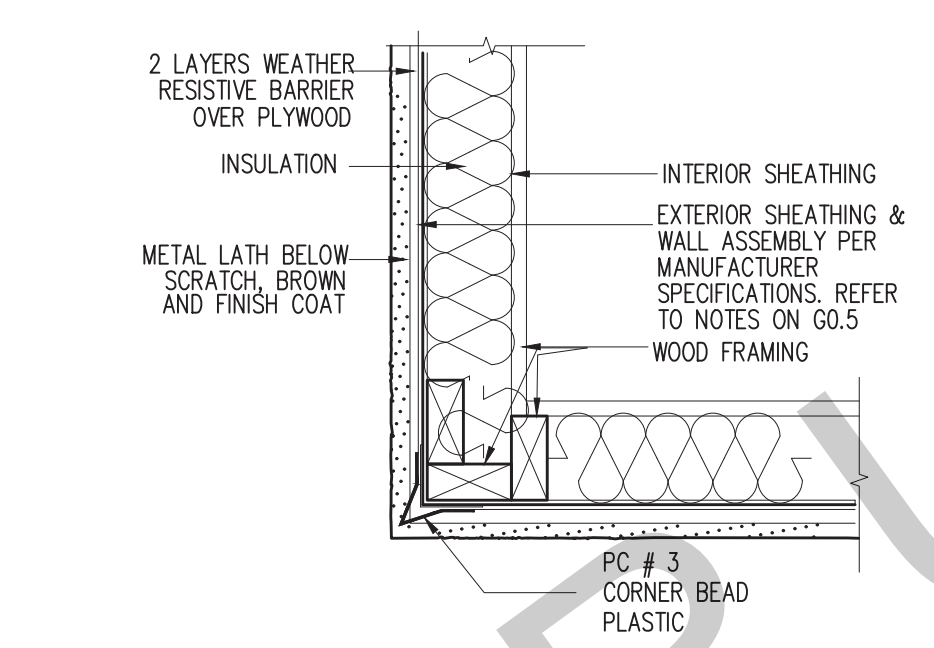
8 TRIM DETAIL RANCH



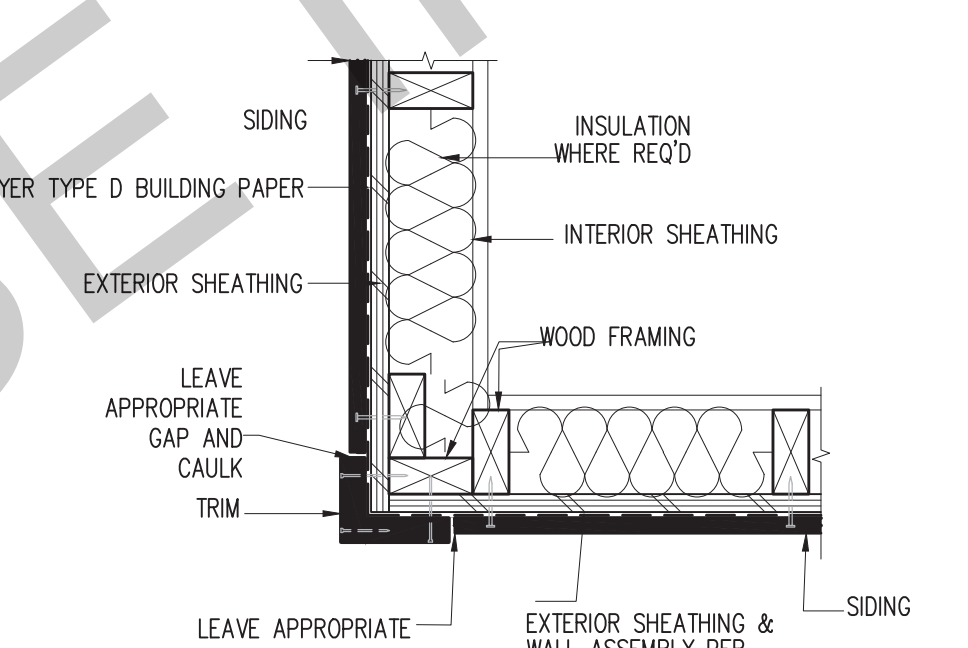
5 WINDOW FLASHING



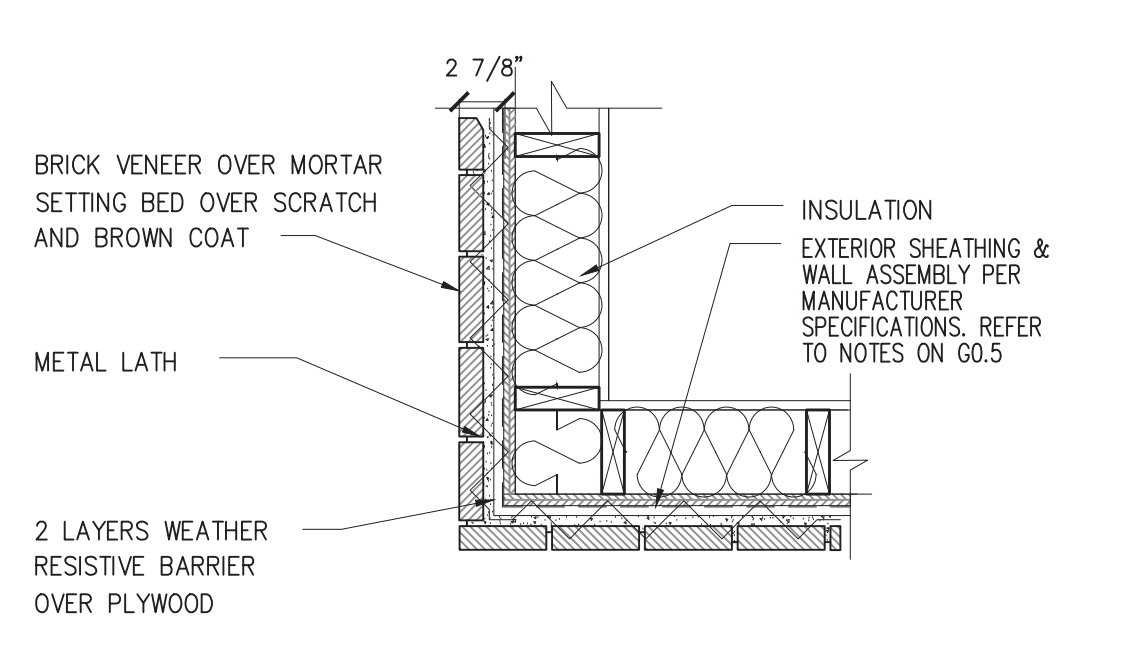
2 DOOR THRESHOLD FLASHING



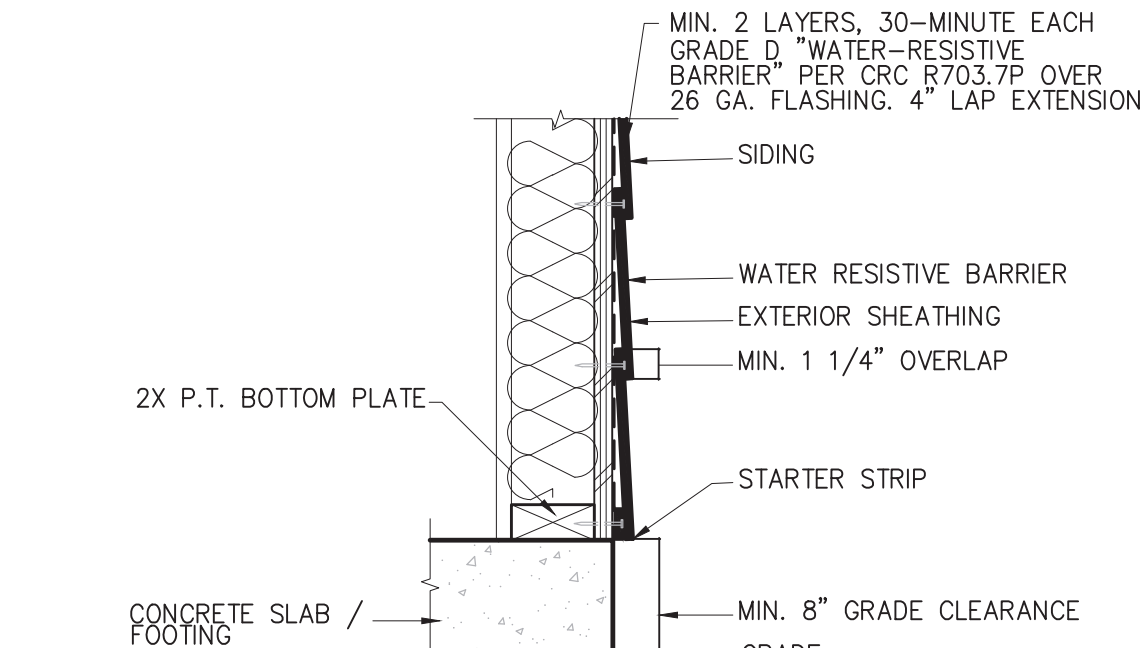
15 FIRE RATED STUCCO WALL



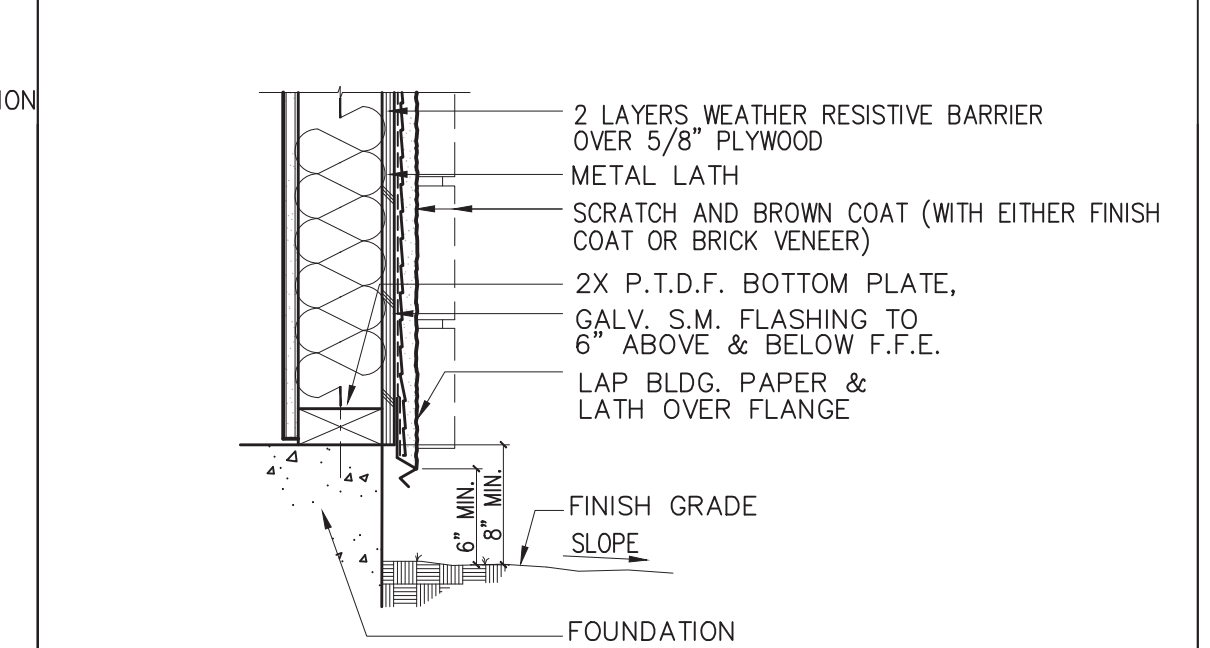
12 FIRE RATED SIDING WALL



9 FIRE RATED STONE WALL



6 SIDING - WALL SECTION



3 STUCCO/STONE - WALL SECTION

WOOD FRAMING  
INSULATION  
2 LAYERS WEATHER RESISTIVE BARRIER OVER PLYWOOD  
METAL LATH BELOW SCRATCH, BROWN AND FINISH COAT  
EXTERIOR SHEATHING & WALL ASSEMBLY PER MANUFACTURER SPECIFICATIONS. REFER TO NOTES ON G0.5  
WOOD FRAMING

SCALE: 1/2"=1'-0"

WOOD FRAMING  
INSULATION  
2 LAYERS WEATHER RESISTIVE BARRIER OVER PLYWOOD  
METAL LATH BELOW SCRATCH, BROWN AND FINISH COAT  
EXTERIOR SHEATHING & WALL ASSEMBLY PER MANUFACTURER SPECIFICATIONS. REFER TO NOTES ON G0.5  
WOOD FRAMING

SCALE: 1/2"=1'-0"

WOOD FRAMING  
INSULATION  
2 LAYERS WEATHER RESISTIVE BARRIER OVER PLYWOOD  
METAL LATH BELOW SCRATCH, BROWN AND FINISH COAT  
EXTERIOR SHEATHING & WALL ASSEMBLY PER MANUFACTURER SPECIFICATIONS. REFER TO NOTES ON G0.5  
WOOD FRAMING

SCALE: 1/2"=1'-0"

WOOD FRAMING  
INSULATION  
2 LAYERS WEATHER RESISTIVE BARRIER OVER PLYWOOD  
METAL LATH BELOW SCRATCH, BROWN AND FINISH COAT  
EXTERIOR SHEATHING & WALL ASSEMBLY PER MANUFACTURER SPECIFICATIONS. REFER TO NOTES ON G0.5  
WOOD FRAMING

SCALE: 1/2"=1'-0"

WOOD FRAMING  
INSULATION  
2 LAYERS WEATHER RESISTIVE BARRIER OVER PLYWOOD  
METAL LATH BELOW SCRATCH, BROWN AND FINISH COAT  
EXTERIOR SHEATHING & WALL ASSEMBLY PER MANUFACTURER SPECIFICATIONS. REFER TO NOTES ON G0.5  
WOOD FRAMING

SCALE: 1/2"=1'-0"

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project  
Town of Paradise  
Pre-Approved  
ADU Program

revisions  
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description  
Architectural  
Wall Finish  
Details

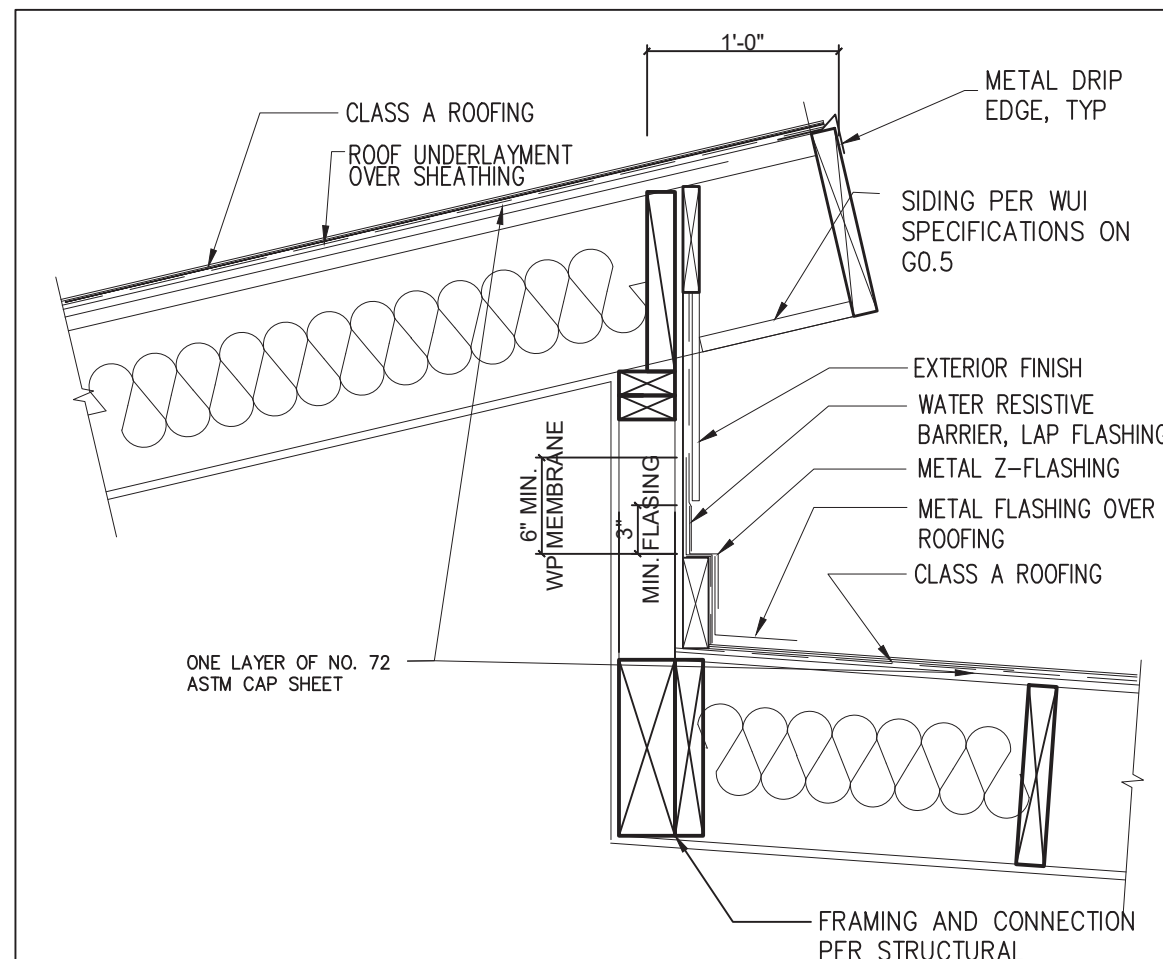
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project no. 20##\_xxxxxx

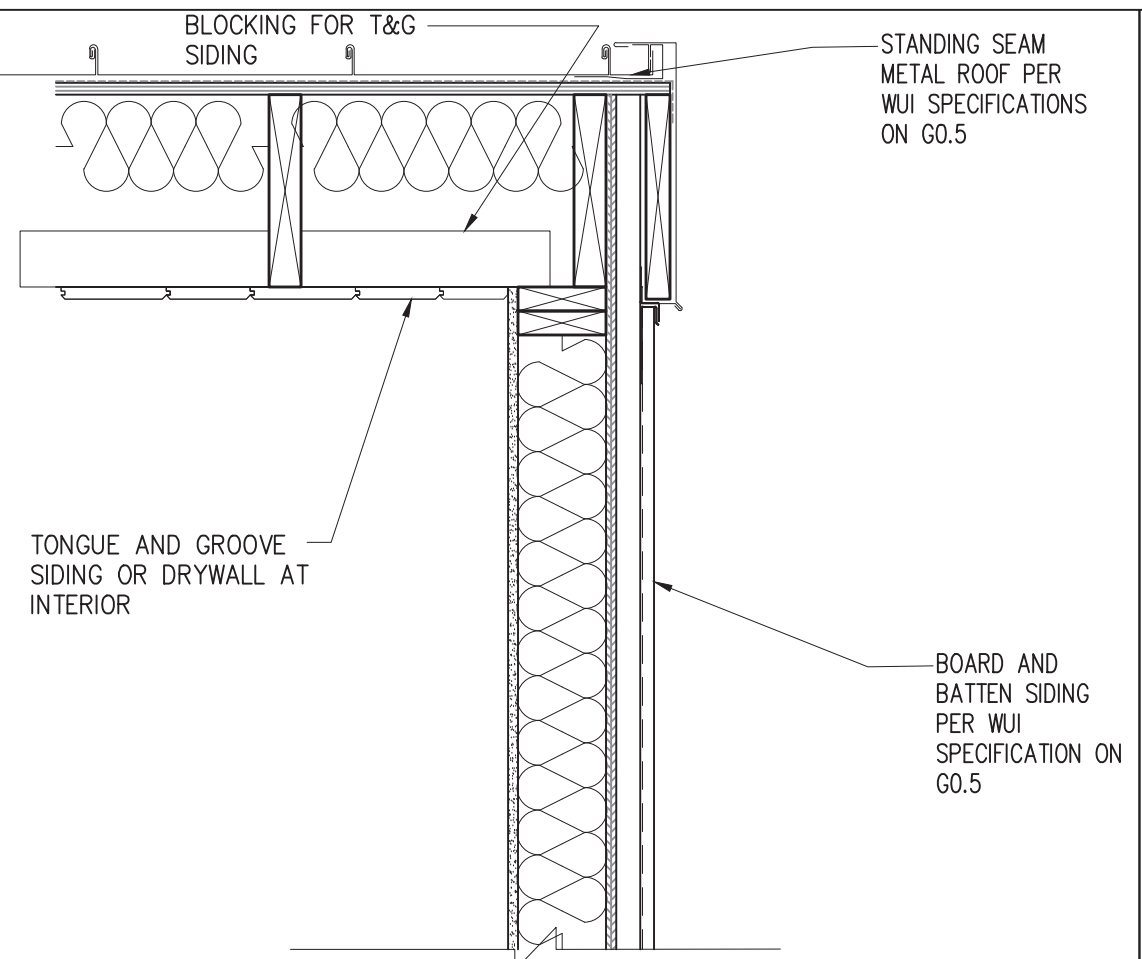
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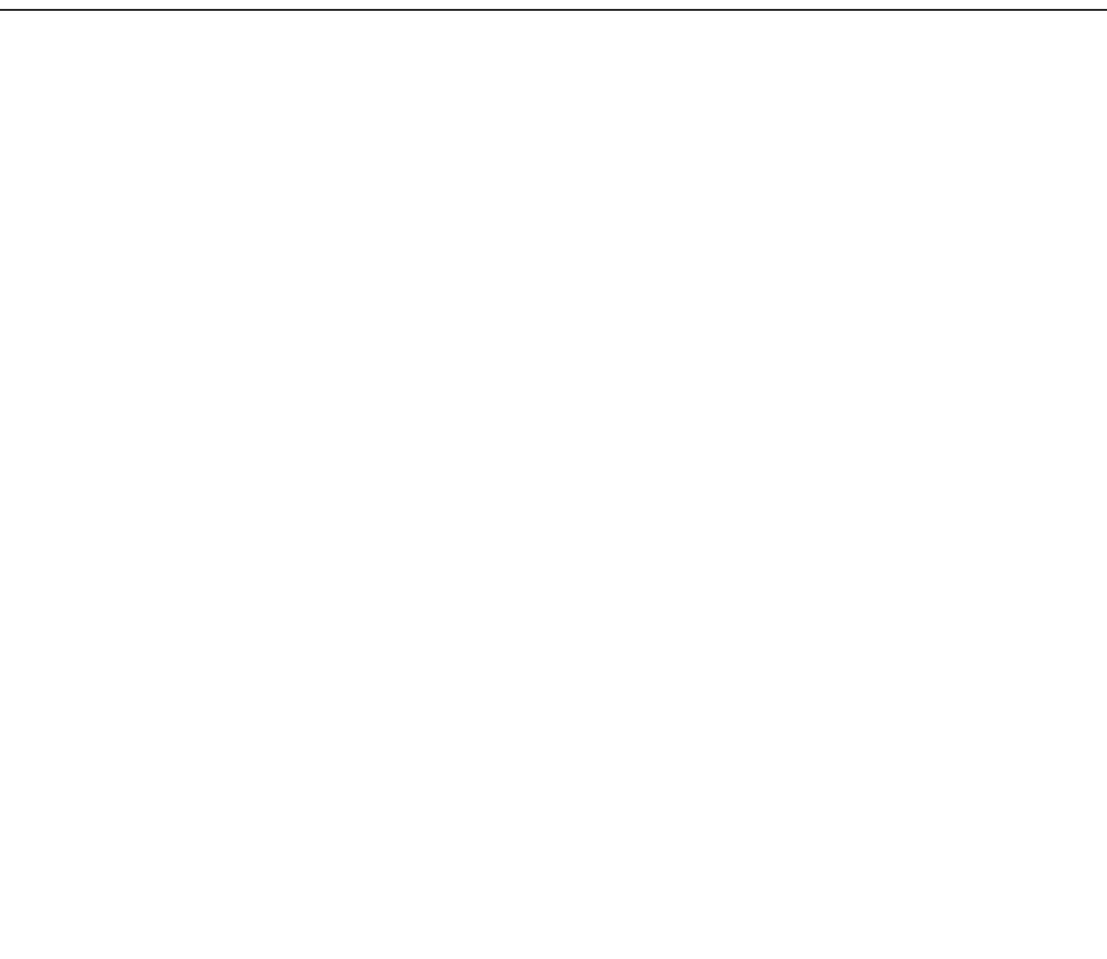




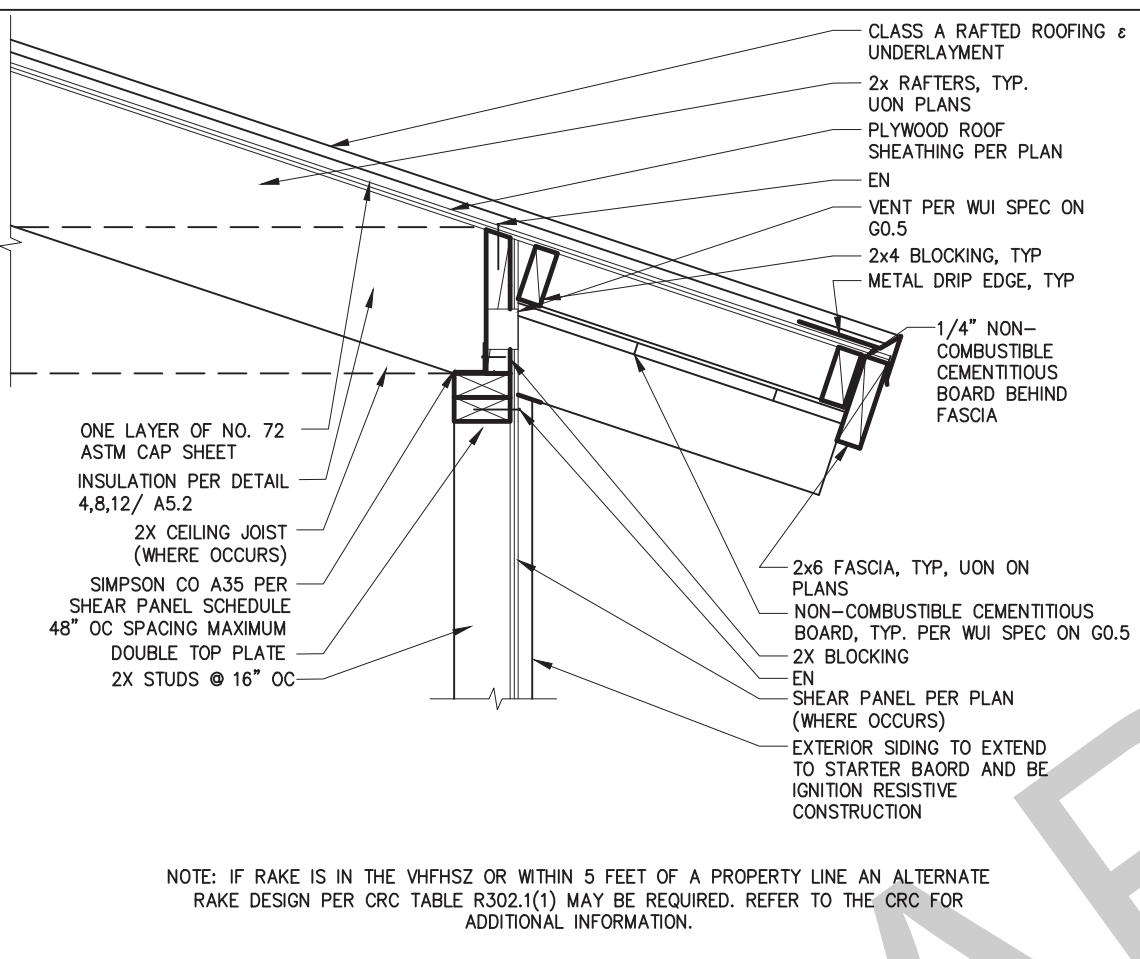
16 ROOF TRANSITION AT COOP SCALE: 1"=1'-0"



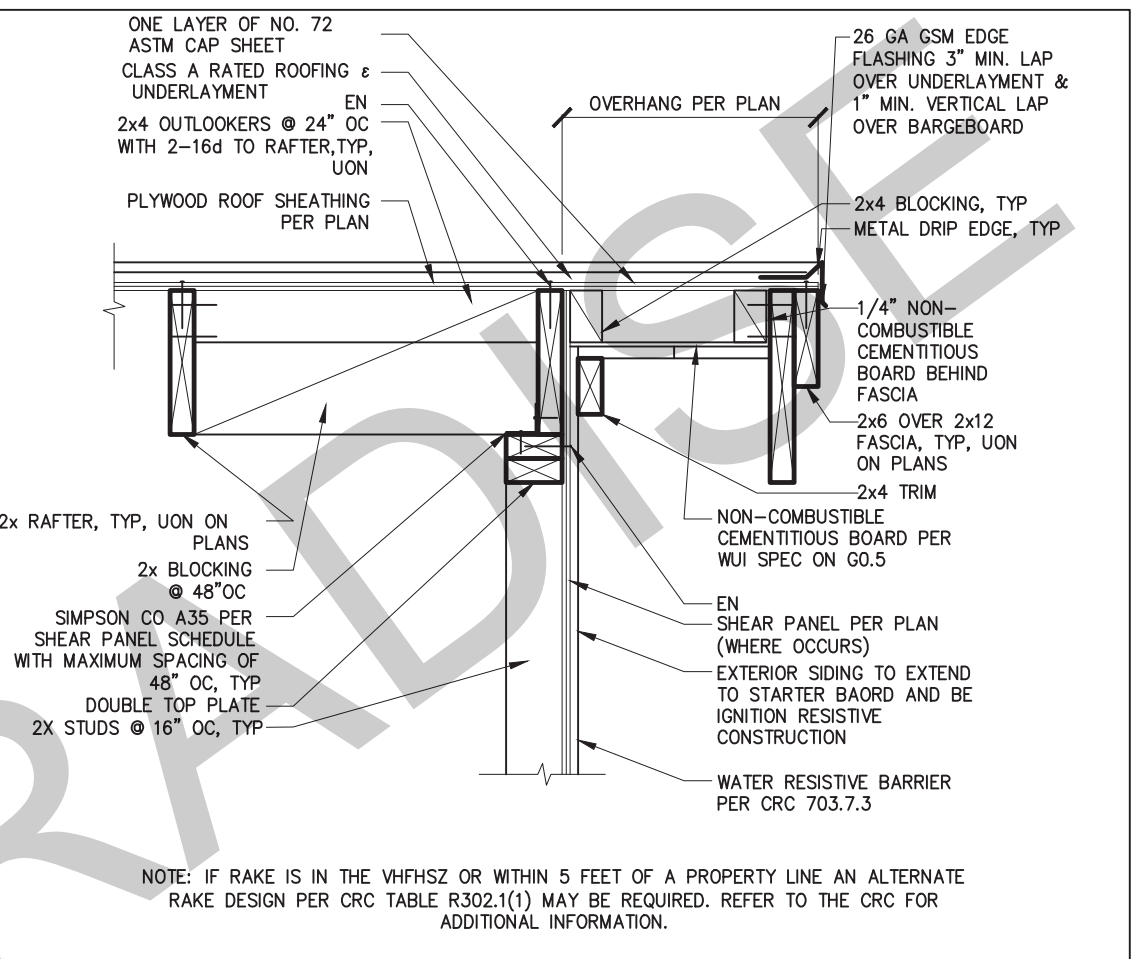
13 EAVE AT BARN SCALE: 1"=1'-0"



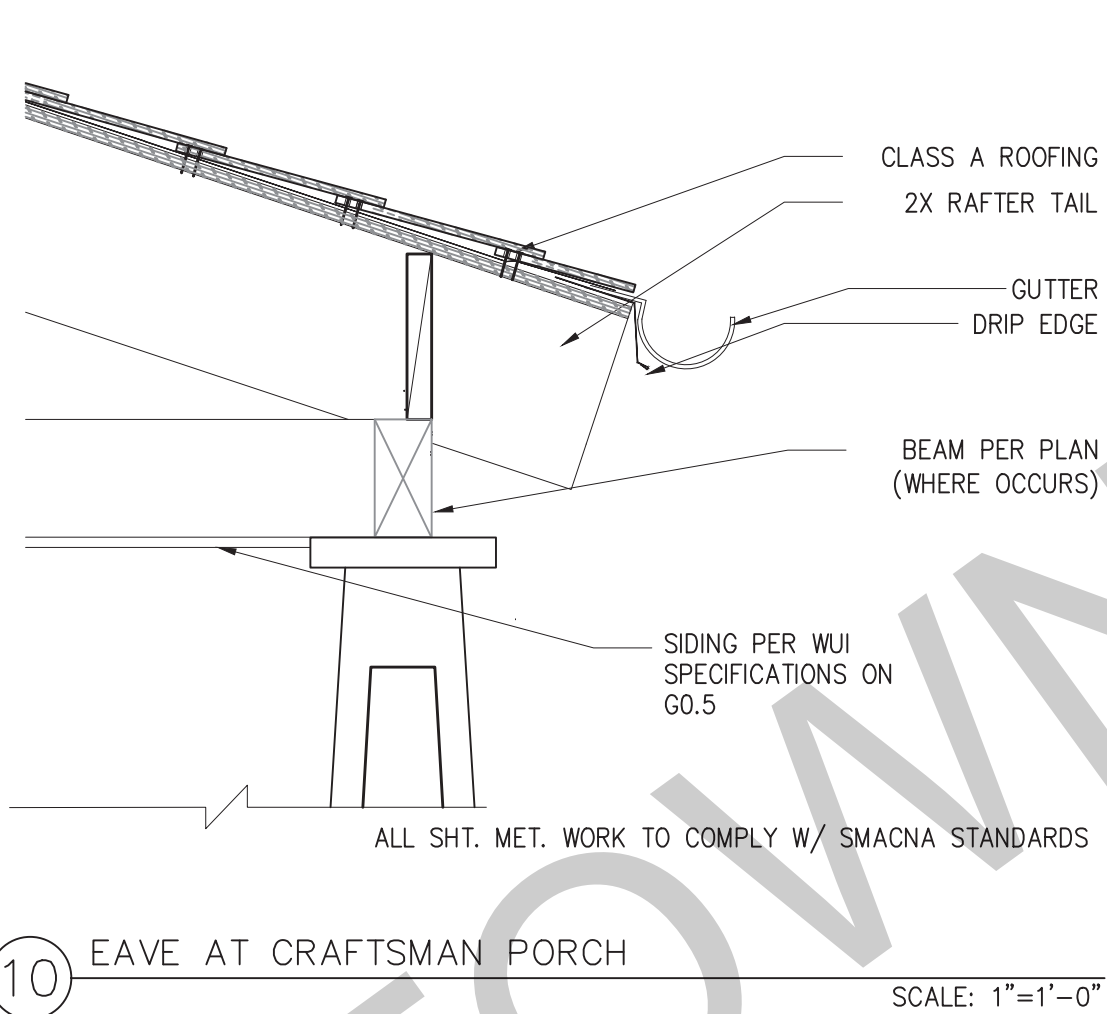
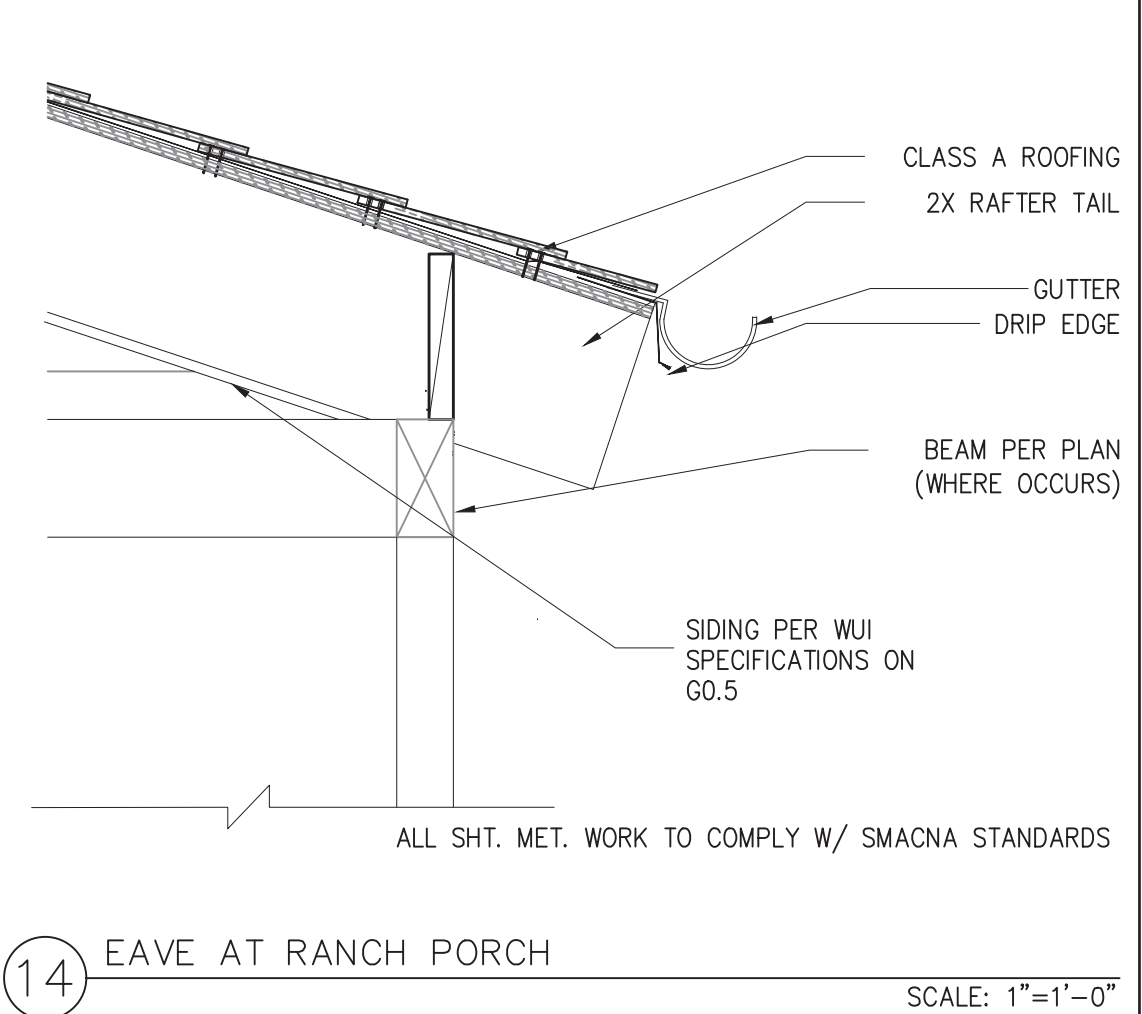
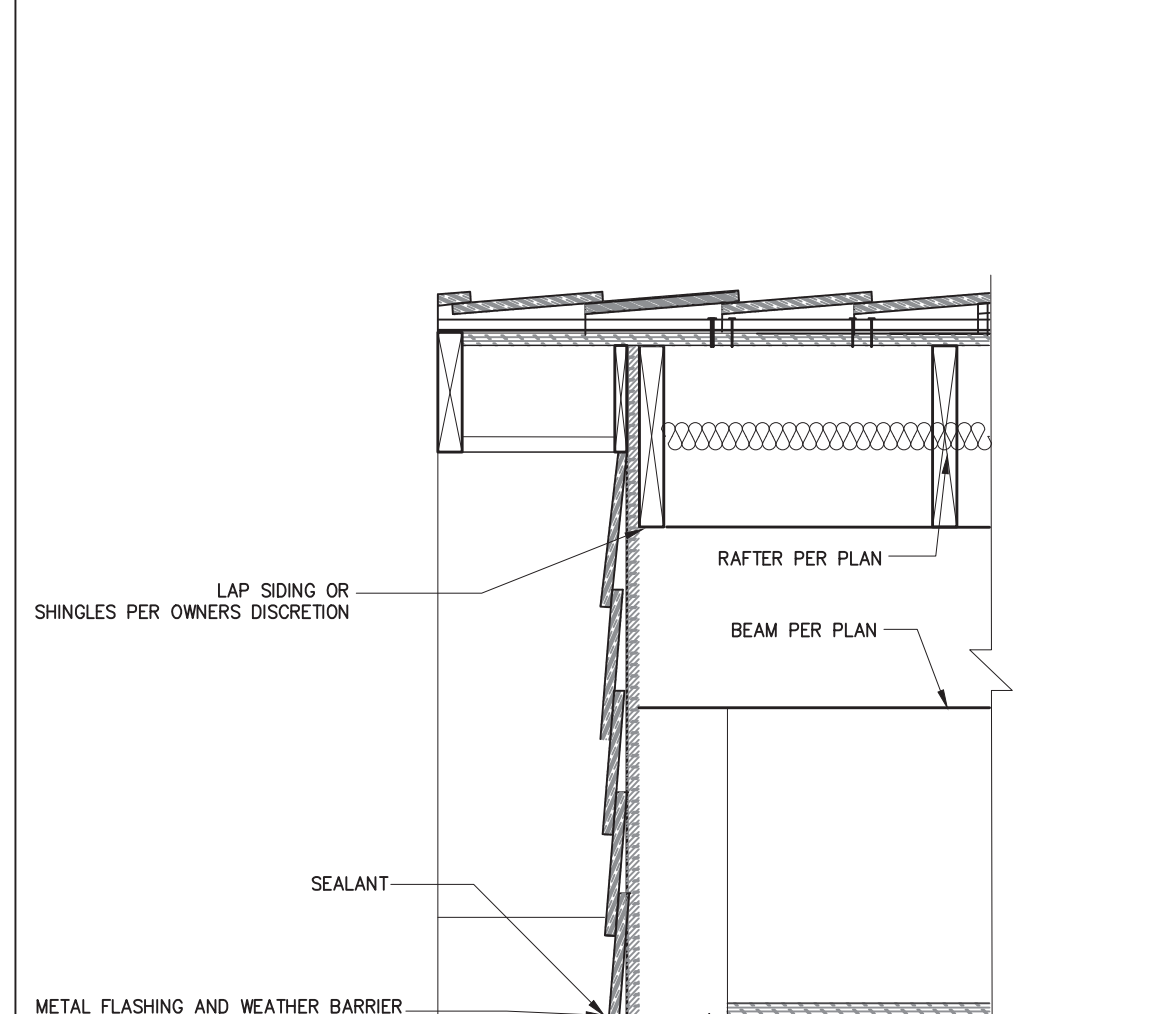
9 SCALE: 1"=1'-0"



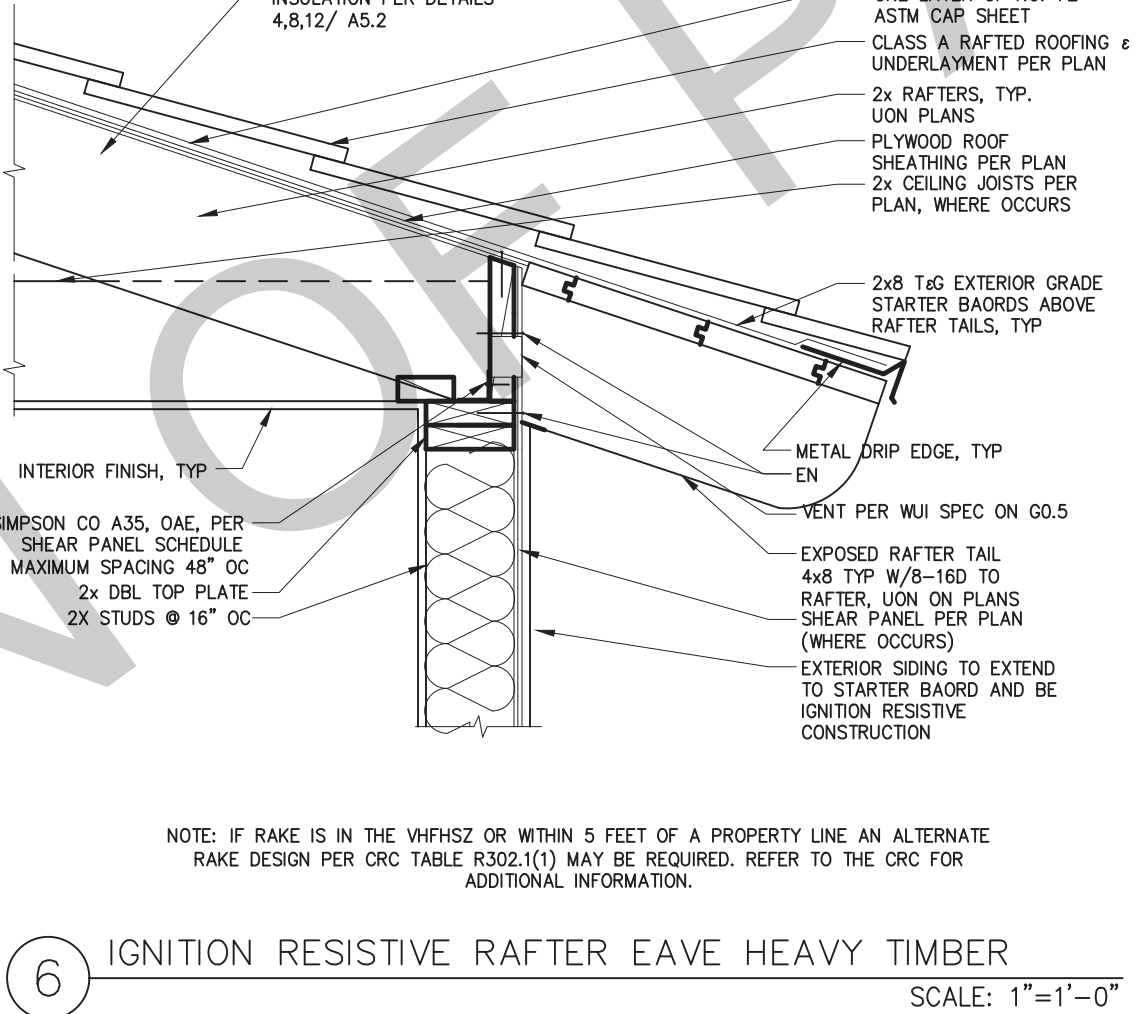
5 IGNITION RESISTIVE EXPOSED RAFTER EAVE SCALE: 1"=1'-0"



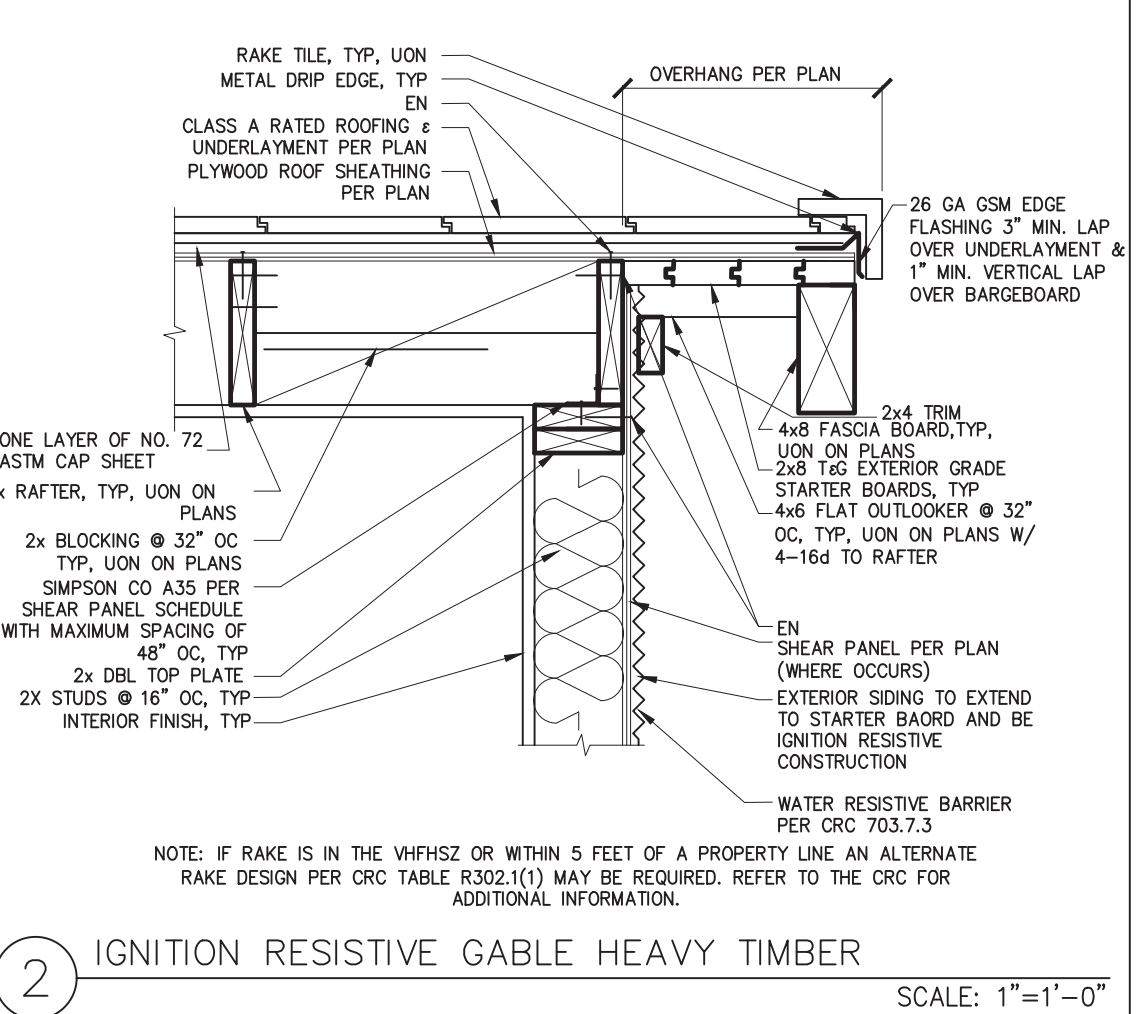
1 IGNITION RESISTIVE GABLE WITH 2x6 & 2x12 FASCIA SCALE: 1"=1'-0"



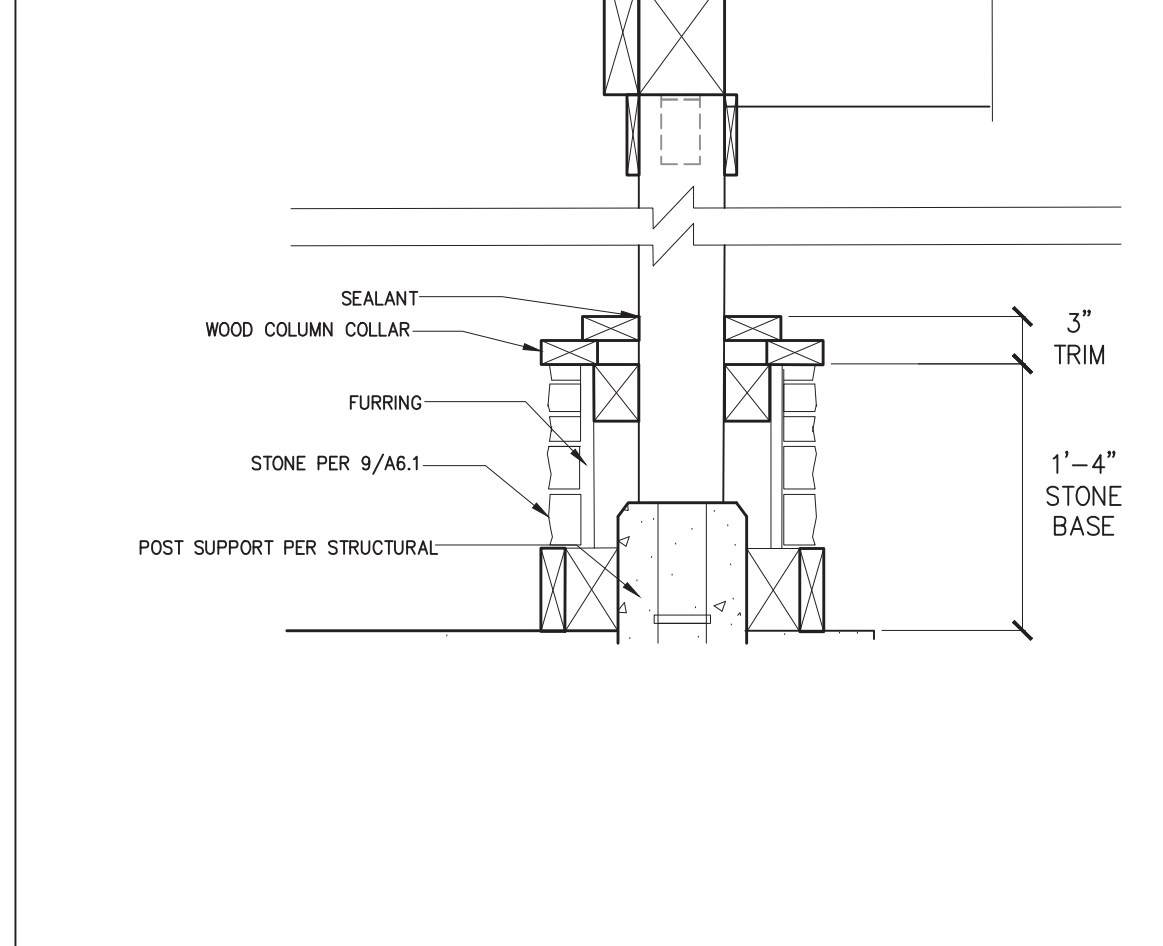
11 EAVE WITH PERPENDICULAR RAFTERS SCALE: 1"=1'-0"



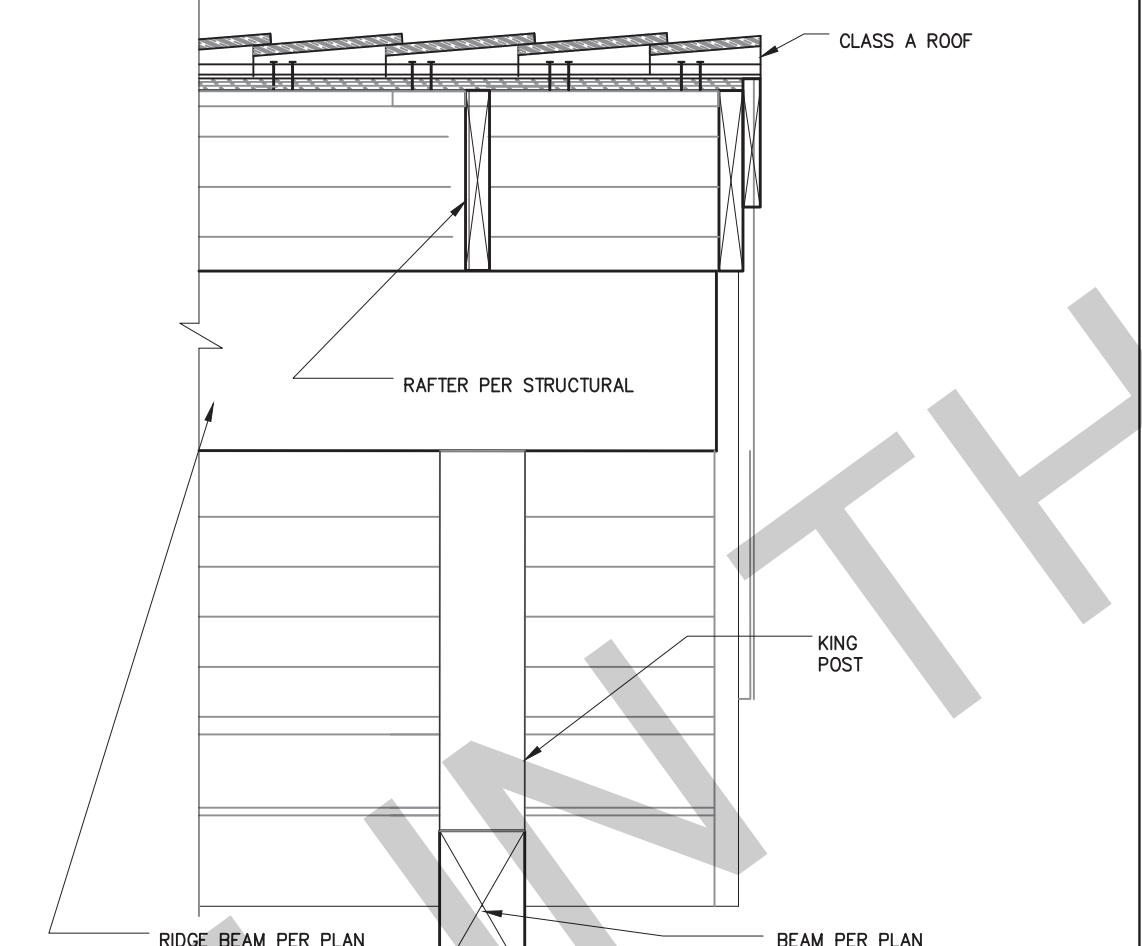
6 IGNITION RESISTIVE RAFTER EAVE HEAVY TIMBER SCALE: 1"=1'-0"



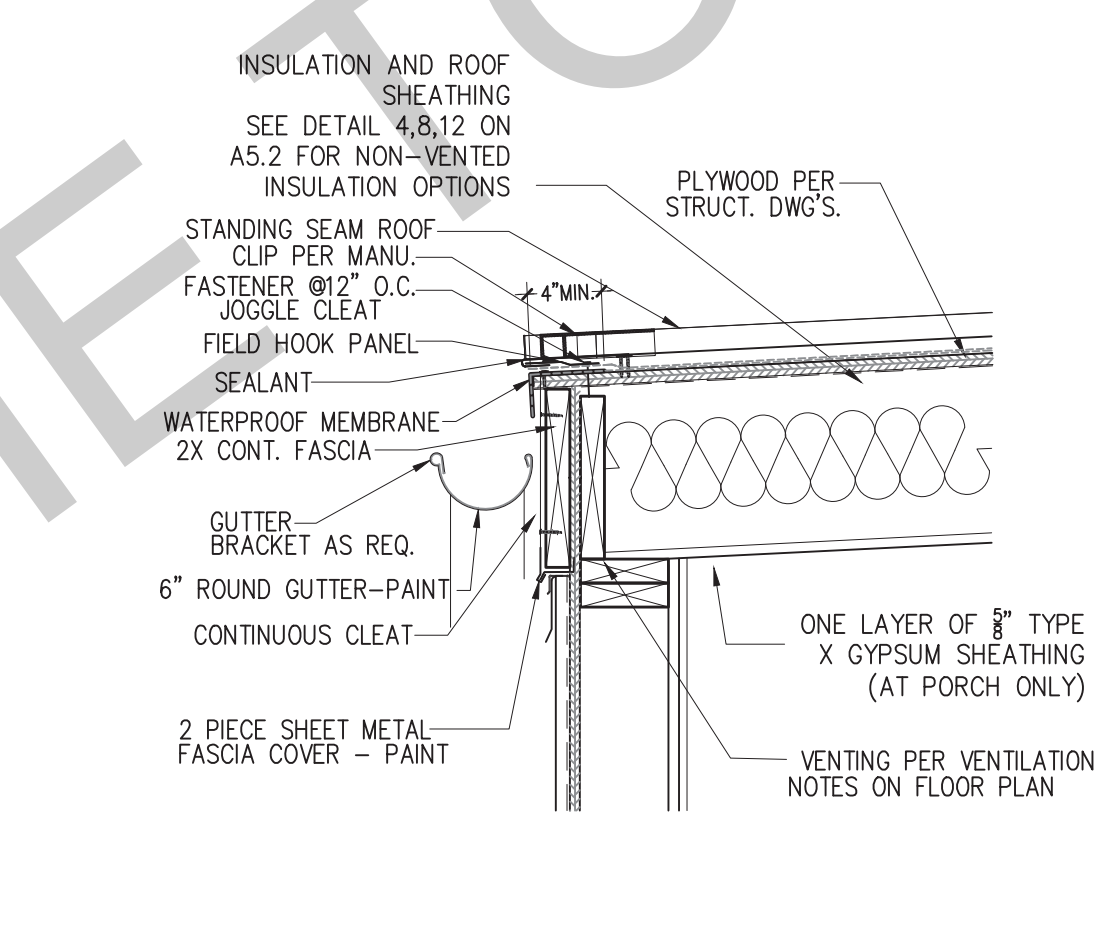
2 IGNITION RESISTIVE GABLE HEAVY TIMBER SCALE: 1"=1'-0"



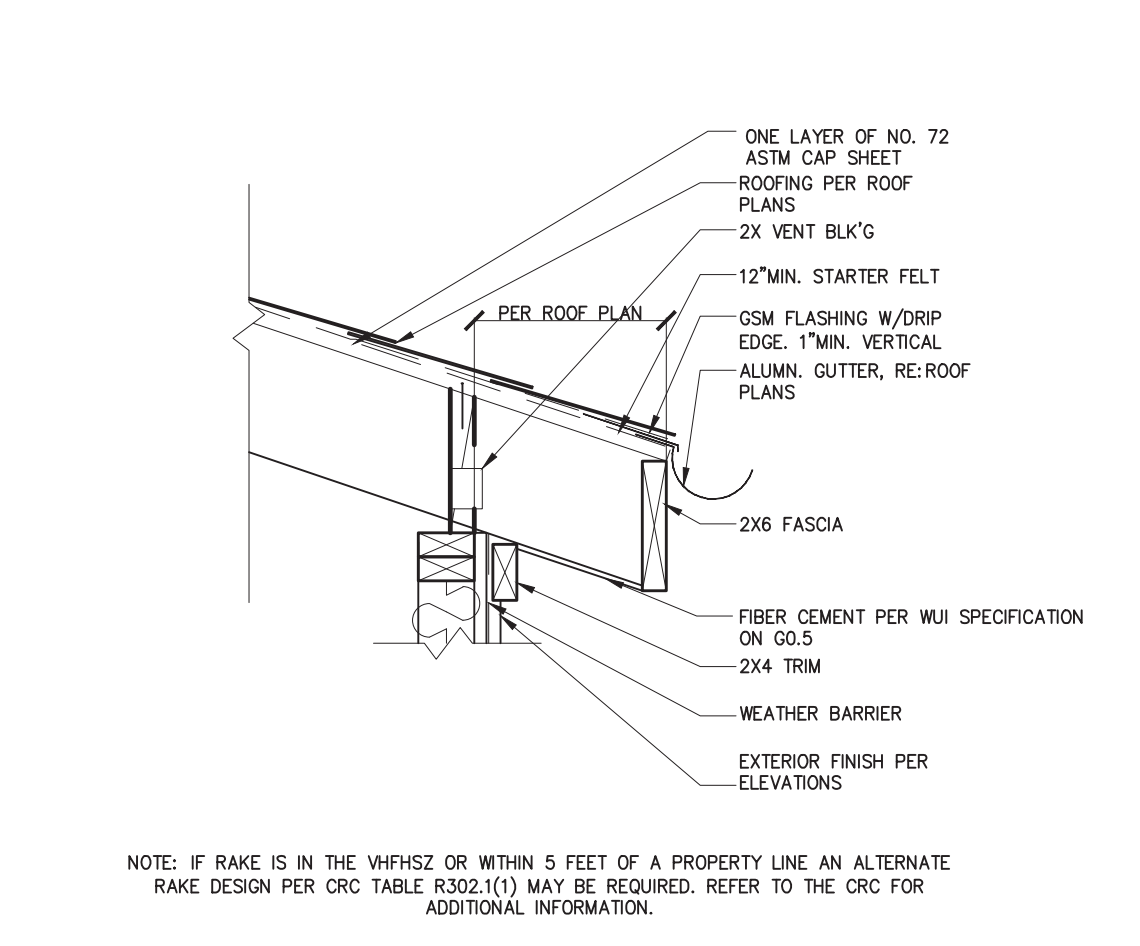
17 COLUMN CONNECTION AT CRAFTSMAN SCALE: 1"=1'-0"



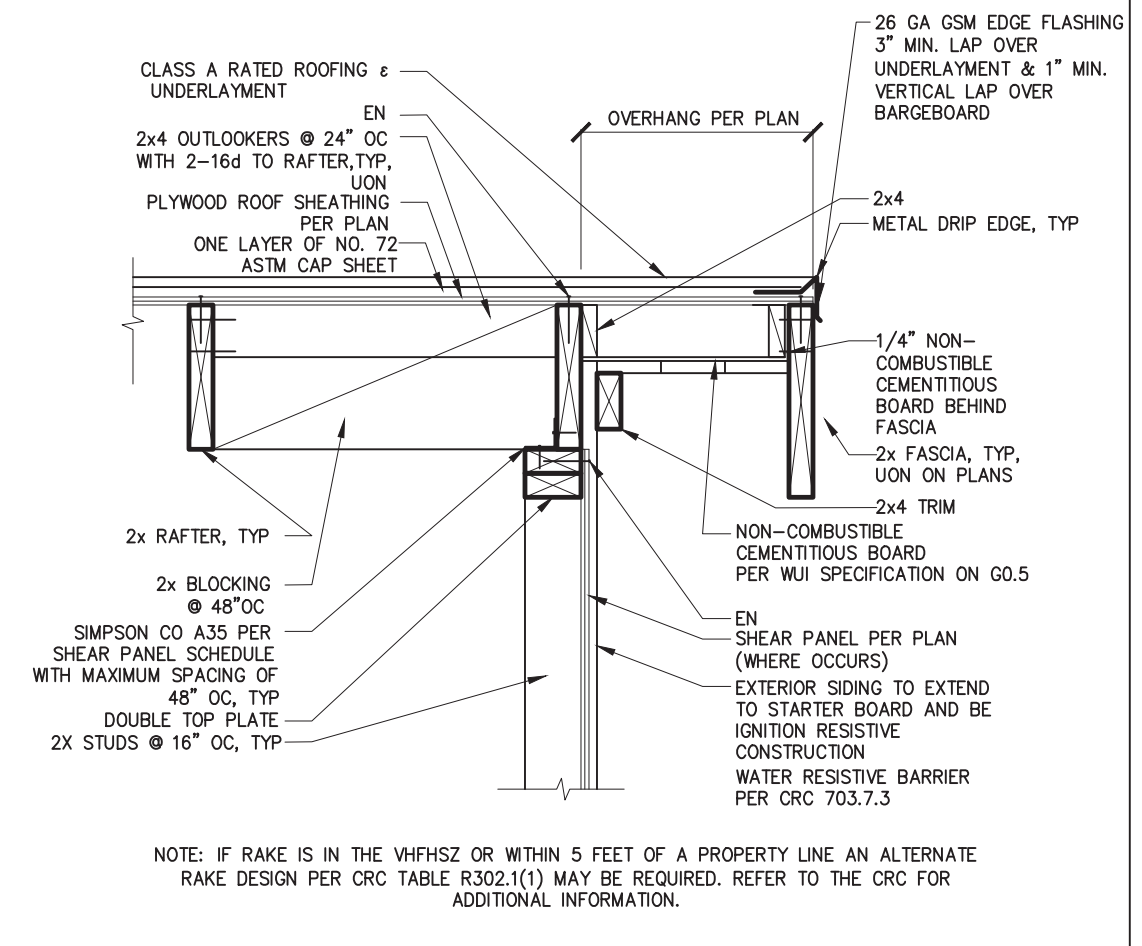
15 GABLE DETAIL AT RANCH PORCH POST SCALE: 1"=1'-0"



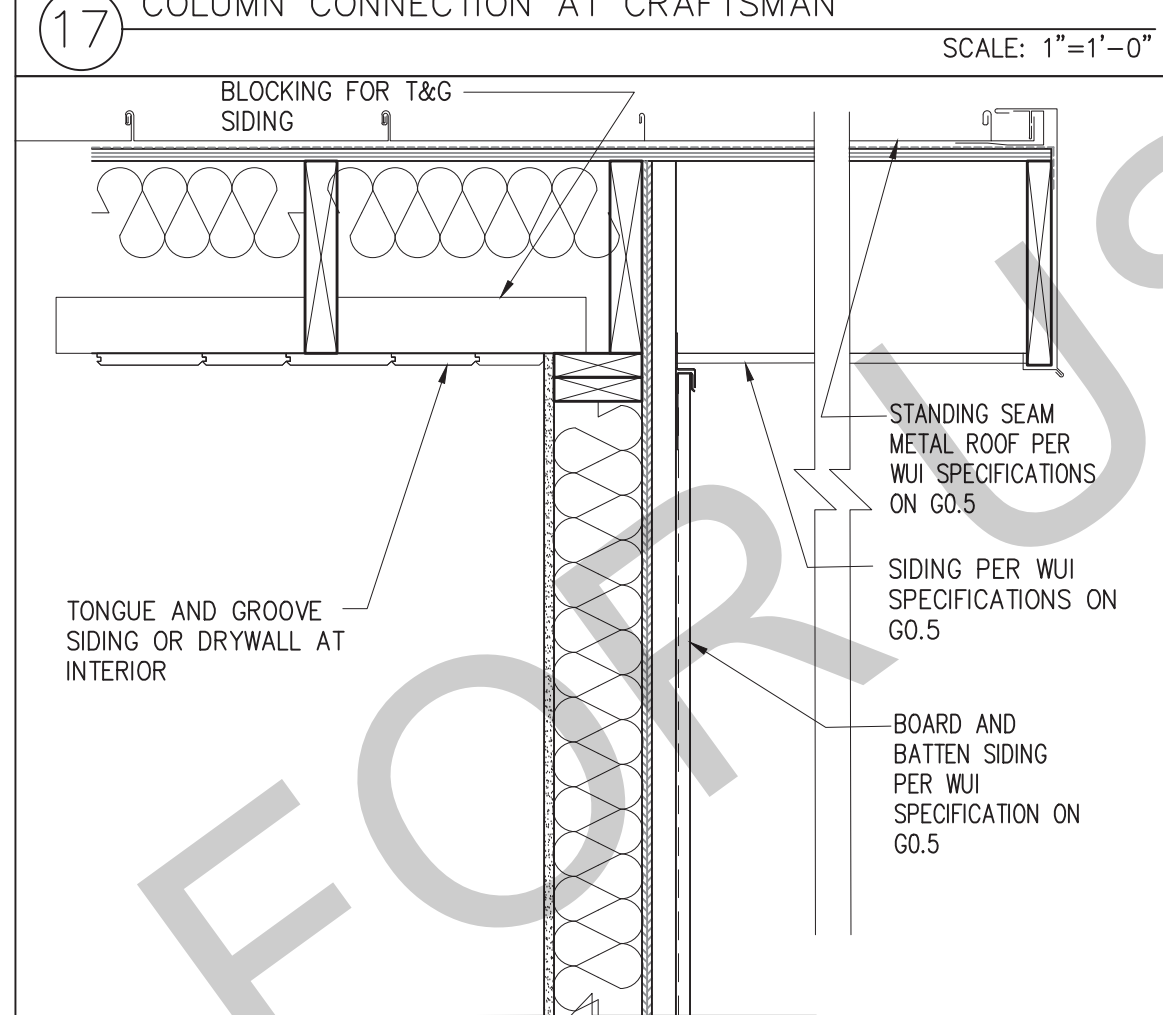
12 INSULATION @ UNVENTED ROOF ASSEMBLY IMPERMEABLE ONLY SCALE: 1"=1'-0"



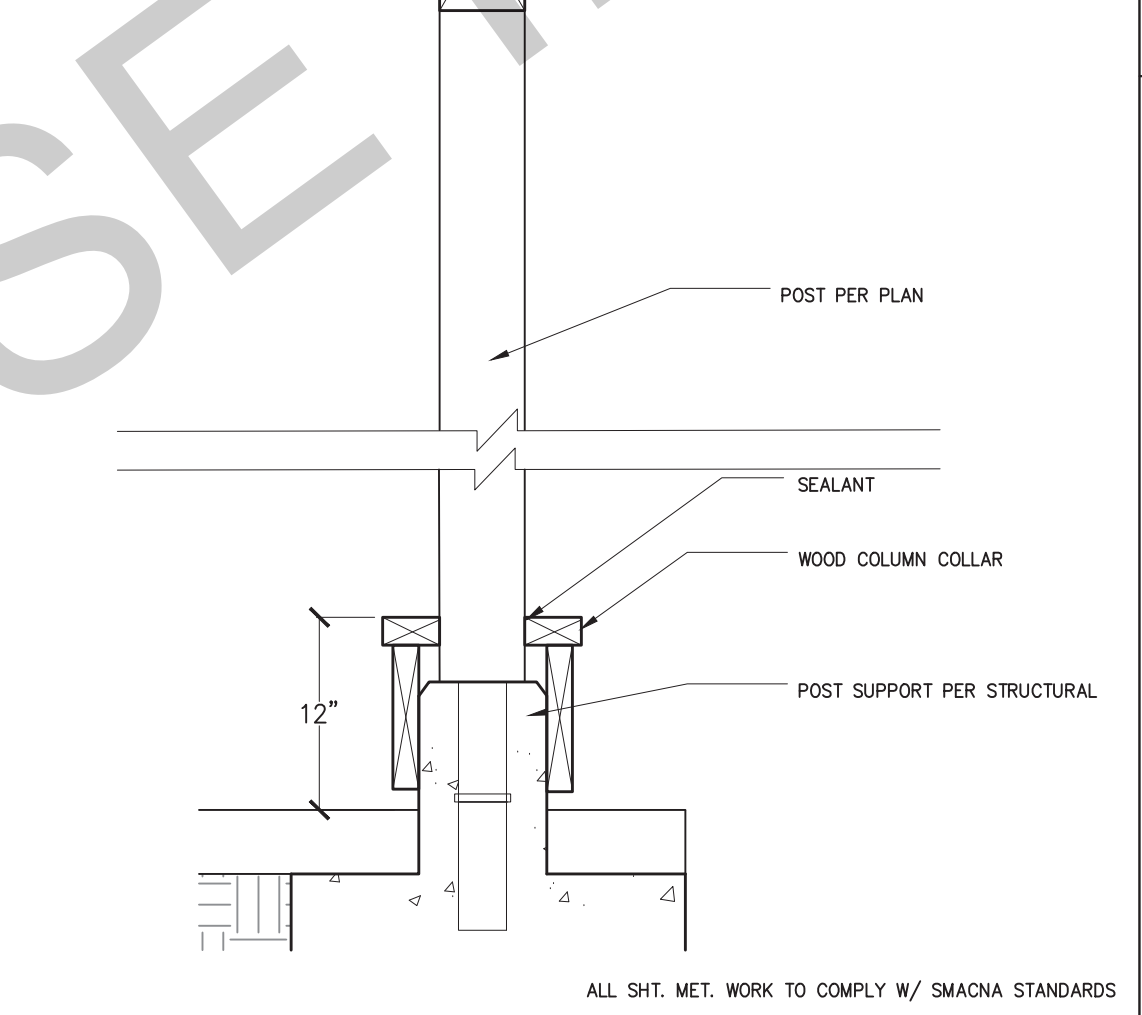
8 INSULATION @ UNVENTED ROOF ASSEMBLY BOTH TYPES SCALE: 1"=1'-0"



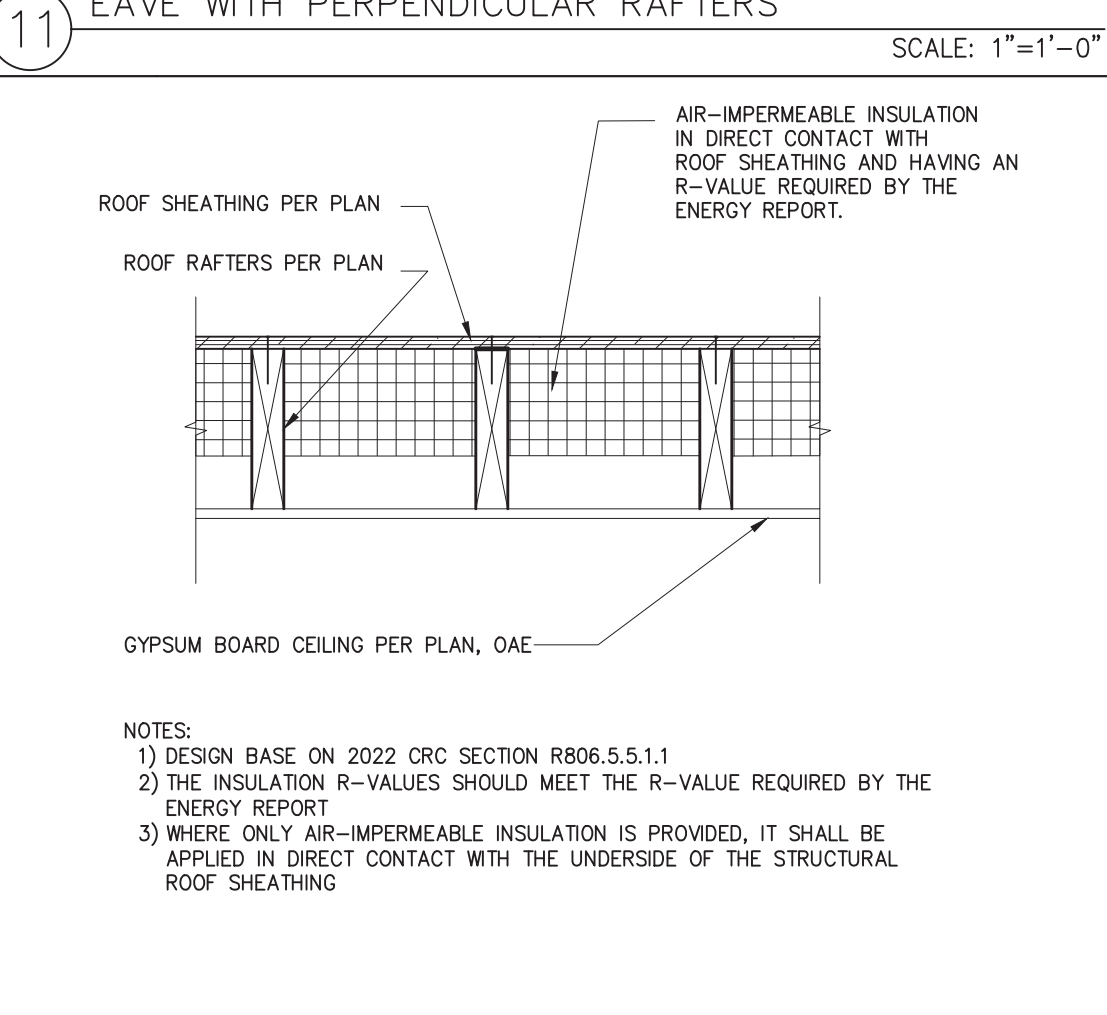
3 IGNITION RESISTIVE GABLE WITH 2x FASCIA SCALE: 1"=1'-0"



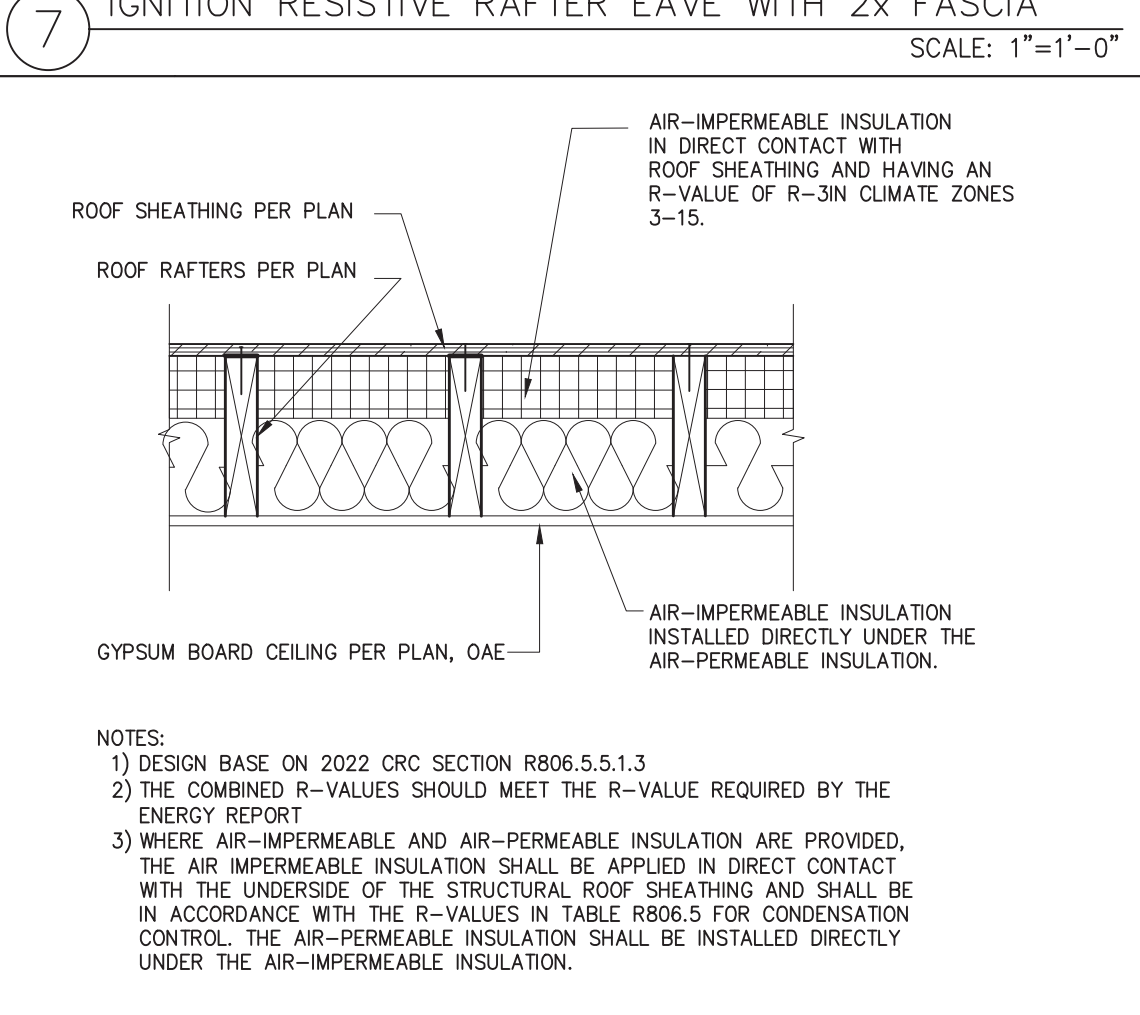
18 EAVE AT BARN PORCH SCALE: 1"=1'-0"



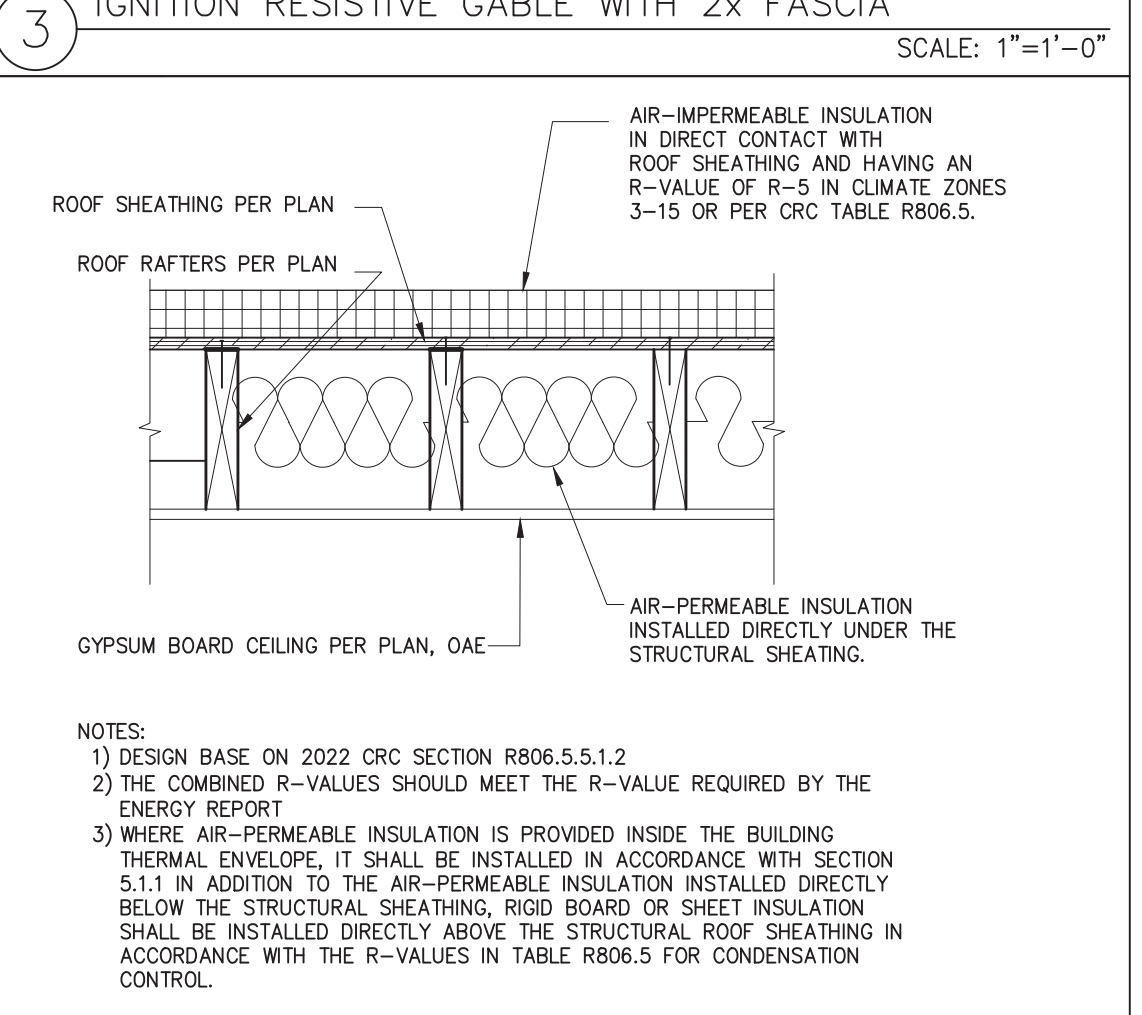
15 GABLE DETAIL AT RANCH PORCH POST SCALE: 1"=1'-0"



12 INSULATION @ UNVENTED ROOF ASSEMBLY IMPERMEABLE ONLY SCALE: 1"=1'-0"



8 INSULATION @ UNVENTED ROOF ASSEMBLY BOTH TYPES SCALE: 1"=1'-0"



4 INSULATION AT UNVENTED ROOF ASSEMBLY-OVER/UNDER SCALE: 1"=1'-0"

BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:  
1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE TOWN OF PARADISE ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF PARADISE BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. DESIGN PATH STUDIO SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.  
2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO DESIGN PATH STUDIO. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD DESIGN PATH STUDIO AND ITS ARCHITECTS HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THEREFROM IN ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, DIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF DESIGN PATH STUDIO OR ITS ARCHITECTS.  
3. THE DESIGNS REPRESENTED BY THESE PLANS OR COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.  
4. THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.



## 2. CONCRETE FOUNDATION CONSTRUCTION

200. THE FIELD INSPECTOR SHALL VERIFY FOUNDATION REQUIREMENTS DURING FOUNDATION INSPECTION.
201. CONCRETE STRENGTH SHALL BE NO LESS THAN 2,500 PSI @ 28 DAYS, OR HIGHER STRENGTH IF NOTED ON THE PLANS.
202. SLAB REINFORCEMENT & FOOTINGS SHALL BE PER STRUCTURAL DETAILS CENTERED IN SLAB.
203. REINFORCING BARS TO BE GRADE 40 FOR #3 BARS, GRADE 60 FOR #4 BARS & LARGER
204. PROVIDE WEAKENED PLANE JOINTS FOR CRACK CONTROL (SAWCUT OR TOOLED JOINT) AT 14'-0" O/C MAX.
205. SILL ANCHORAGE AT ALL SHEARWALL LOCATIONS SHALL BE PER THE SHEARWALL SCHEDULE. ALL SHEARWALL ANCHOR BOLTS SHALL RECEIVE A 3" SQUARE X 0.229" THICK WASHER. THE WASHER MAY BE DIAGONALLY SLOTTED (WIDTH >= BOLT DIAMETER + 3/16", LENGTH <= 1 1/2") PROVIDED THAT A STANDARD CUT WASHER IS USED ON TOP OF THE SQUARE WASHER. SHEARWALL ANCHORS SHALL BE PLACED A MIN. OF 1 1/2" FROM THE EDGE OF CONCRETE.
206. EMBEDDED SILL ANCHOR BOLTS AT TYPICAL NON-SHEARWALL CONDITIONS SHALL BE 5/8" DIA. MIN. ANCHOR BOLTS WITH A STANDARD CUT WASHER. SPACING SHALL NOT EXCEED 48 INCHES O/C. LOCATE AN ANCHOR BOLT NOT MORE THAN 9 INCHES, OR LESS THAN 4" FROM ENDS AND SPLICES. EACH SILL SHALL HAVE (2) SILL BOLTS MIN.
207. ANCHOR BOLTS SHALL BE EMBEDDED A MIN. OF 7 INCHES INTO CONCRETE. IN A TWO-POUR SYSTEM, ANCHOR BOLTS TO BE EMBEDDED 5 INCHES MIN. INTO FIRST POUR.
208. SEE WOOD FRAMING CONSTRUCTION NOTES FOR ALTERNATE SILL ANCHORAGE.
209. ALL HOLDOWNS SHALL BE PLACED A MINIMUM DIM AS SHOWN IN DETAIL 3&4 ON FND DETAIL SHEET FROM EXTERIOR CORNER OF SLAB.
210. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY HOMEOWNER AND TOWN OF PARADISE OF ANY DISCREPANCY, TYPICAL.
211. PROVIDE A UFER GROUND FOR ELECTRICAL. SYSTEM PER ARTICLE 250.52 N.E.C.
212. ALL SURROUNDING FLAT WORK SHALL BE VERIFIED WITH HOMEOWNER FOR LOCATION AND AMOUNT TO BE POURED.
213. RETROFIT MISPLACED HOLDOWNS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON SET-XP EPOXY PER MANUFACTURERS INSTALLATION REQUIREMENTS AS FOLLOWS:
- | MISPLACED HOLDOWN    | RETROFIT BOLT              | REPLACEMENT HARDWARE |
|----------------------|----------------------------|----------------------|
| LSTD8, HTT4          | 5/8" ALL-THREAD, EMBED 9"  | HTT4                 |
| STHD10, STHD14, HTT5 | 5/8" ALL-THREAD, EMBED 9"  | HTT5                 |
| LT20B                | 5/8" ALL-THREAD, EMBED 7"  | LT20B                |
| LT20B                | 5/8" ALL-THREAD, EMBED 7"  | LT20B                |
| HDU8                 | 5/8" ALL-THREAD, EMBED 15" | HDU8                 |
214. RETROFIT 3/8" & 1/2" EMBEDDED ANCHOR BOLTS AS NOTED BELOW. AT EPOXY ANCHORS USE SIMPSON SET-XP EPOXY PER SIMPSON'S INSTALLATION REQUIREMENTS.
- | LOCATION                 | TYPE                   | REPLACEMENT   |
|--------------------------|------------------------|---|
| SLAB EDGE, 1 3/4" DIST.  | SHEARWALL              | 5/8" ALL-THREAD, EPOXY, EMBED 3" OR 3/8" TITEN HD, EMBED 3" MIN.  |
| INTERIOR > 6" EDGE DIST. | SHEARWALL OR NON-SHEAR | 5/8" TITEN HD, EMBED 3" MIN.  |
| ANY OTHER                | NON-SHEAR              | 0.145 DIA. SHOT PINS SPACED 4 INCHES APART ON SILL. (2) FOR EACH MISSING ANCHOR BOLT. MAX. OF (6) SHOT PINS EVERY 6 FT. |
215. WHEN REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, HAVE CONTRACTOR DOCUMENTATION IN WRITING FOR THE FOLLOWING:
- THE PAD WAS PREPARED IN ACCORDANCE WITH THE SITE REQUIREMENTS AND TOWN OF PARADISE APPROVAL.
  - THE UTILITY TRENCHES HAVE BEEN PROPERLY CHARACTERIZED & COMPACTED.
  - THE FOUNDATION EXCAVATIONS, EXPANSIVE CHARACTERISTICS AND BEARING CAPACITY COMPLIES WITH THE TOWN OF PARADISE RECOMMENDATIONS.
216. ALL HOLDOWN ANCHORS & HARDWARE MUST BE TIED IN PLACE PRIOR TO CALLING FOR A FOUNDATION INSPECTION.

## 3. WOOD FRAMING CONSTRUCTION

300. ROOFING MATERIALS SHALL BE PER ARCHITECTURAL DRAWINGS.
301. ROOF SHEATHING SHALL BE 1/2" OR 5/8" C-D GRADE, INTERIOR TYPE PLYWOOD WITH EXTERIOR GLUE, OR OSB PANELS. IDENTIFICATION INDEX (240) W/ 8D COMMON NAILS @ 6" O/C @ ALL PERIMETER EDGES AND ALL INTERIOR SUPPORTED EDGES AND @ 12" O/C @ ALL INTERMEDIATE SUPPORTS PER AWC NDS. SEE DETAILS FOR SHEAR AND DRAG NAILING.
302. TYPICAL WALL SHEATHING:  
INTERIOR SURFACES: WHERE DRYWALL IS SPECIFIED, PROVIDE MIN. 5/8" GYPSUM WALLBOARD W/ 5D COOLER NAILS OR EQUAL @ 7" O/C TO ALL STUDS AND TO TOP & BOTTOM PLATES (UNLOCKED) AT INTERIOR SIDE OF EXTERIOR WALLS AND AT BOTH SIDES OF ALL INTERIOR WALLS.
- EXTERIOR SURFACES: SEE PLANS. WHERE "STUCCO" IS SPECIFIED PROVIDE 1/2" EXTERIOR CEMENT PLASTER OVER WIRE LATH OVER TYPE 15 BUILDING PAPER. LATH ATTACHED TO ALL STUDS AND TOP AND BOTTOM PLATES (OR BLOCKING AS OCCURS) W/ 16 GAGE X 1/8" STAPLES @ 6" O/C OR NO. 11 GAGE X 1-1/2" FURRING NAILS WHERE INDICATED ON ELEVATIONS.
303. STRUCTURAL SHEATHING MAY BE EITHER OSB OR PLYWOOD. ANY NOTES REFERRING TO PLYWOOD ALSO APPLIES TO OSB.
304. TOP PLATES SHALL BE DOUBLE 2X W/ WIDTH EQUAL TO STUDS BELOW, W/ (21) 16D NAILS MIN. @ MINIMUM 4'-0" LAP SPLICES. USE SIMPSON RPS OR CS16 STRAP EACH SIDE OR ONE SIDE AND TOP WHERE LAP SPLICE IS NOT POSSIBLE. SEE DETAILS FOR NOTCHES, CUT-OUTS AND COMPLETE PLATE BREAKS AT HEATING, VENTING, AND PLUMBING.

## 3. WOOD FRAMING CONSTRUCTION (CONT.)

305. TYPICAL SHEAR TRANSFER:  
ROOF TO WALL: CONNECT ROOF FRAMING TO TOP PLATE W/ SIMPSON H1 @ 24" O/C OR A35 OR RBC @ 24" O/C OR PER SHEAR TRANSFER DETAILS.
- SILL PLATE ANCHORS:
306. GROUND FLOOR / SLAB ON GRADE WALLS: PROVIDE 2X (MIN.) PTDF SILL PLATES. SEE CONCRETE FOUNDATION CONSTRUCTION NOTES 206, 207 & 208 FOR ANCHOR BOLTS. AT INTERIOR NON-SHEAR CONDITIONS, 0.145 SHOT PIN ANCHORS @ 32" O/C MAY BE USED TO CONNECT PARTITIONS AND BEARING WALLS TO SLAB.
307. ALL WOOD SILL PLATES AND ALL WOOD MEMBERS DIRECTLY AGAINST CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE REDWOOD SILLS OR PTDF SILLS, TREATED WITH SODIUM BORATE (SBX/DOT) WHEN INSTALLED IN A DRY OR ENCLOSED ENVIRONMENT. (SODIUM BORATE TREATMENT DOES NOT REQUIRE CORROSION RESISTANT CONNECTORS.) IF OTHER TREATMENTS ARE USED, SEE NOTE 309.
308. FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD:  
ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C, ACQ-D, CA-B, AND CBA-A WITHOUT AMMONIA SHALL BE GALVANIZED PER ASTM A153.
- ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER TREATED WITH ACQ-C, ACQ-D, CA-B, AND CBA-A WITH AMMONIA SHALL BE TYPE 303, 304, 305, OR 316 STAINLESS STEEL.
- WHERE PRESSURE TREATED LUMBER IS INSTALLED IN AN EXTERIOR WET ENVIRONMENT, ALL NAILS AND FASTENERS IN CONTACT WITH THE PRESSURE TREATED LUMBER SHALL BE TYPE 303, 304, 305, OR 316 STAINLESS STEEL.
309. RE-TIGHTEN ALL HOLDOWN ANCHORS JUST PRIOR TO COVERING THE WALL FRAMING.
310. ENGINEERED BEAMS ARE AS FOLLOWS:  
"PSL" REFERS TO PARALLEL STRAND LUMBER (E=2.0, FB=2900).  
"LSL" REFERS TO LAMINATED STRAND LUMBER (E=1.55, FB=2325).  
(E=1.3 & FB=1700 AT LSL CONDITIONS WITH D (DEPTH) < 9")  
"LVL" REFERS TO LAMINATED VENEER LUMBER (E=2.0, FB=2800).  
"GLB" REFERS TO 24F-1.8E GLU-LAM WITH STANDARD CAMBER, U.N.O.  
"LC" ENGINEERED GLU-LAM BEAM MAY BE USED UPON ENGINEER APPROVALS. AN A.I.T.C CERTIFICATE OF COMPLIANCE ISSUED BY A CURRENT ICC APPROVED QUALITY CONTROL AGENCY FOR GLUED LAMINATED WOOD MEMBERS SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
311. LUMBER SPECIFICATIONS:  
ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH. STUDS, PLATES & BLOCKING: 2X4 FRAMING LUMBER NOT LISTED BELOW STANDARD GRADE OR BETTER  
92-1/4", 104-1/4", & 116-1/4" 2X4 STUDS #2 OR BETTER  
2X4 STUDS OVER 10' STANDARD OR BETTER  
2X4 SILLS & PLATES #2 OR BETTER  
2X6 STUDS, SILLS, & PLATES STANDARD OR BETTER OR #1  
4X4 STUDS & POSTS #1 OR BETTER  
4X6, 4X6, & LARGER STUDS & POSTS #2 OR BETTER  
4X4, 4X6, 4X8, 4X10 BEAMS & HEADERS #1 OR BETTER  
4X12, 4X14 BEAMS & HEADERS #2 OR BETTER  
6X4 BEAMS & HEADERS #1 OR BETTER  
6X6 & LARGER BEAM & HEADERS #2 OR BETTER  
2X6 AND LARGER RAFTERS AND JOISTS #2 OR BETTER
312. HOLES, CUTOUTS, AND NOTCHES IN FRAMING MEMBERS:  
BY VIRTUE OF CODE COMPLIANCE WITH ELECTRICAL AND PLUMBING CODES, HOLES AND NOTCHES WILL INEVITABLY BE MADE IN FRAMING MEMBERS. THE CODE RECOGNIZES AND APPROVES VARIOUS HOLES AND NOTCHES WITHOUT ENGINEERING JUSTIFICATION IN CBC SECTION 2308.8.2. ENGINEERED (PSL, LSL) RECTANGULAR LUMBER BEAMS BEHAVE LIKE ANY OTHER RECTANGULAR SHAPE WHEN NOTCHED OR BORED, SO THE ENGINEER OR ARCHITECT MAY SPECIFY LIMITS WITHOUT MANUFACTURER APPROVAL. OTHER HOLES AND NOTCHES ARE ALLOWED AS NOTED BELOW.
- PSL AND LVL BEAMS: A HOLE 1 INCH IN DIAMETER CAN BE DRILLED ANYWHERE, AND A 2 INCH DIA. HOLE CAN BE DRILLED IN THE MIDDLE THIRD OF THE SPAN IN THE MIDDLE THIRD OF THE DEPTH OF THE BEAM FOR ANY PSL OR LVL BEAM, EXCEPT CANTILEVERED BEAMS AND BEAMS SUPPORTING CONCENTRATED LOADS. HOLES IN THOSE CONDITIONS REQUIRE APPROVAL IN WRITING FROM THE ENGINEER.
- PSL AND LVL BEAMS: A RAKE OUT (TAPER) AT THE TOP OF THE BEAM AT THE END OF THE SUPPORT IS ALLOWED IF NOTED ON PLANS, TO A MINIMUM OF 4-3/8" AT INSIDE FACE OF SUPPORT. RAKE CUT (TAPER) THAT RESULTS IN A DEPTH AT THE INSIDE FACE OF THE SUPPORT OF 2/3RDS THE BEAM DEPTH IS ALLOWED AT CONDITIONS NOT SPECIFIED. OTHER TAPERED ENDS AND SQUARE NOTCHES IN TOP OR BOTTOM FACE REQUIRE APPROVAL IN WRITING FROM THE ENGINEER OR ARCHITECT.
- SEE STRUCTURAL DETAILS 14 & 15 ON DETAIL SHEETS NOTCHING AND BORING.
313. PROVIDE 2X4 TRIMMER & 2X4 KING STUD EACH END OF EACH 4X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 4X10 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 3-1/2 X 7-1/2 PSL OR LSL OR LARGER.
314. PROVIDE 2X6 TRIMMER & 2X6 KING STUD EACH END OF EACH 6X DROPPED BEAM OR HEADER. PROVIDE DOUBLE TRIMMERS AT EACH 6X8 OR LARGER. PROVIDE DOUBLE TRIMMERS AT EACH 5-1/4 X 7-1/2 PSL OR LSL OR LARGER.
315. PROVIDE DOUBLE KING STUDS AT ALL OPENINGS 8'-1" WIDE AND WIDER OR PER PLAN.
316. PROVIDE MINIMUM 2-1/4" BEARING @ EACH END OF EACH FLUSH BEAM OR HEADER WHERE BEARING IS ON TOP PLATE. PROVIDE 2X4 STUD WITHIN 3' OF BEARING POINT. PROVIDE (2) 2X STUDS @ 6X OR LSL OR PSL BEAMS.
317. ROOF RAFTERS SHALL BE 2X RAFTERS AS NOTED ON STRUCTURAL DRAWINGS
318. EAVES SHALL BE PER ARCHITECTURAL PLANS W/ APPLIED TAILS PER ARCHITECTURAL PLANS. OVERHANG DETAILS ARE NOT SHOWN ON STRUCTURAL PLANS.
319. SEE THE ARCHITECTURAL ROOF PLANS FOR ROOF PITCH AND ADDITIONAL INFORMATION.
320. COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS.

## 3. WOOD FRAMING CONSTRUCTION (CONT.)

321. WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE OR USP STRUCTURAL CONNECTORS. ALL SPECIFIED CONNECTOR CALL-OUTS ARE SIMPSON CATALOG CALL-OUTS. USP SUBSTITUTIONS SHALL HAVE A CAPACITY EQUAL TO OR GREATER THAN THE SIMPSON CATALOG VALUES. ANY OTHER ICC APPROVED METAL CONNECTOR MAY BE USED UPON APPROVAL BY THE ENGINEER OR ARCHITECT.
322. ICC APPROVED CONNECTORS SHALL BE USED WHERE CONNECTORS ARE SPECIFIED. UNLESS OTHERWISE NOTED, THE FOLLOWING BEAM AND JOIST HANGERS SHALL BE USED:
- | BEAM OR JOIST      | SIMPSON/USP HANGER  |
|--------------------|---------------------|
| RAFTERS            | LU, LUS, LUC, OR HU |
| 1.75 X LSL AND LVL | HU, HUS, OR WPU     |
| 2.69 X PSL AND LVL | HU OR HWU           |
| 3.5 X PSL AND LVL  | HHUS OR HWU         |
| 5.25 X PSL AND LVL | HHUS OR HWU         |
| 7 X PSL AND LVL    | HHUS OR HWU         |
- AT BEAM HANGER CALLOUTS, IE HGUS OR HU BEAMS, THE CALLOUT IS ABBREVIATED. THE HANGER WIDTH MAY BE OMITTED TO ALLOW FLEXIBILITY IN ORDERING. EXAMPLE: 2.69 PSL THE CALLOUT MAY READ HGUS12. AN HGUS2.75/12 OR HGUS412 (WITH FILLERS) ARE APPLICABLE. WHERE HANGERS OFFER (MIN) OR (MAX), NAIL TO APPLY (MAX) LOADS.
323. WHERE SHEARWALL LENGTHS ARE SPECIFIED ON THE PLANS, THE LENGTH SHOWN IS A MINIMUM DIMENSION. THE SHEARWALL MAY BE LENGTHENED FOR CONSTRUCTION PURPOSES, BUT SHALL NOT BE REDUCED UNLESS OTHERWISE NOTED. ALL ENGINEERED WOOD PANEL SHEAR (PLYWOOD OR OSB) SHALL BE BLOCKED.
324. THE FOLLOWING HOLES IN SHEARWALLS ARE ALLOWED:  
A) APPROXIMATELY SQUARE HOLES NOTCHED, PUNCHED, OR CUT THAT ARE LESS THAN 25 SQ. INCHES  
B) APPROXIMATELY SQUARE HOLES CLEAN CUT OR BORED IN SHEARWALLS THAT ARE LESS THAN 64 SQ. INCHES (ONE HOLE PER 4' OF SHEARWALL.)  
C) APPROXIMATELY SQUARE HOLES, LESS THAN 64 SQ. INCHES (ONE HOLE PER 8' OF SHEARWALL) WITH ALL EDGES BLOCKED & EDGE NAILED.  
D) HOLES INDIVIDUALLY APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD.
325. STUDS SHALL BE SPACED @ 16" O/C MAX. UNLESS OTHERWISE SPECIFIED. USE STUD GRADE EXCEPT AT PLATE HEIGHTS HIGHER THAN 10'-0", THEN USE DF#2 OR BETTER
326. ALL FINISHES, WATERPROOFING, DRAINAGE, AND FIRE-RELATED ELEMENTS ARE BY THE ARCHITECT OF RECORD AND ARE REQUIRED EVEN THOUGH THEY MAY NOT BE SHOWN ON THE STRUCTURAL PLANS AND DETAILS.

## 4. ICC-ES AND NER APPROVALS

400. PLYWOOD AND OSB PANELS: FULL REPORTS FOUND AT: [HTTP://WWW.ICC-ES.ORG](http://www.icc-es.org)  
APA PLYWOOD & OSB-ESR-2586
401. JOISTS AND RAFTERS AND BEAMS:  
TRUS-JOIST TJI JOISTS AND PSL, LSL, & LVL-ICC-ES ESR-1387, 1153,  
BOISE CASCADE BCI JOISTS, VERSA-LAM, & VERSA-STRAND-ICC-ESR-1040, 1336  
LOUISIANA PACIFIC JOISTS & BEAMS-ESR-1305, 2403  
ROSEBURG JOISTS & BEAMS-ESR-1210, 1251  
GLU-LAM BEAMS- ESR-1940  
PACIFIC WOOD TECH - ESR 2909
402. WOOD CONNECTORS:  
SIMPSON CONNECTORS-ICC-ES ESR #S 1161, 1622, 1866, 2105, 2203, 2236, 2320, 2549, 2551, 2552, 2553, 2330, 2554, 2555, 2604, 2605, 2606, 2607, 2608, 2611, 2613, 2614, 2615, 2616, 2617, 2920, 3046  
IAPMO ER-112, 130, 143, 192, 262  
USP LUMBER CONNECTORS-ICC-ES ESR #S 1178, 1280, 1575, 1702, 1781, 1881, 1970, 2104, 2685, 1831, 1465, 2761, 2787, IAPMO ER-200  
QUICK DRIVE WOOD SCREWS-ICC-ES ESR-1472
403. ADHESIVES & ANCHORS:  
SIMPSON EPOXY-TIE HIGH STRENGTH EPOXY (SET-XP)-ICC-ES ESR-1772, 2508.  
SIMPSON WEDGE-ALL (WA) WEDGE ANCHORS-ICC-ES ES-1771  
SIMPSON TITEN HD-ICC-ESR-1056, 2713  
SIMPSON SHOT PINS ICC-ES ESR-2138  
HILTI X-DN, X-ZF, X-CF SHOT PINS-ICC-ES ER-1663, 1752, 2269

## 5. NAILING & FASTENING

500. 16D NAILS AS SHOWN ON THE DETAILS MAY BE COMMON, BOX, OR SINKER NAILS (0.135" MIN. DIA)
501. AS AN ALTERNATE TO THE COMMON AND BOX NAILS SPECIFIED IN THE STRUCTURAL PLANS, THE FOLLOWING "CUTLER" GUN NAILS (OR EQUAL) ARE ACCEPTABLE ALTERNATIVES.
502. ALTERNATE NAILING FOR ROOF SHEATHING:  
8D 2 1/2" X 0.135 WIRE BARBED NAILS BY CUTLER OR EQUAL.
503. ALTERNATE NAILING FOR FLOOR SHEATHING: #8 X 2" SELF SETTING WOOD SCREWS, OR 8D 2 1/2" X 0.135 OR 0.148 SCREW SHANK FLOOR NAILS BY CUTLER OR EQUAL
504. SHEAR PANELS WHERE 8D COMMON NAILS ARE SPECIFIED:  
10D 2 1/2" X 0.148" WIRE BARBED NAILS BY CUTLER OR EQUAL

SIZE OF NAIL	STANDARD LENGTH	WIRE GAUGE	SIZE (INCHES)	PENETRATION REQUIRED
6D	2"	12	0.099	1"
8D	2 1/2"	11	0.113	1"
10D	3"	10	0.128	1 1/4"
12D	3"	10	0.128	1 1/4"
16D	3 1/2"	10	0.135	1 1/4"
16D SINKER	3"	9	0.148	1 1/4"

SIZE OF NAIL	STANDARD LENGTH	WIRE GAUGE	SIZE (INCHES)	PENETRATION REQUIRED
6D	2"	11	0.113	1"
8D	2 1/2"	10	0.131	1 1/4"
10D	3"	9	0.148	1 1/2"
12D	3"	9	0.148	1 1/2"
16D	3 1/2"	8	0.162	1 1/2"

SIZE OF NAIL	STANDARD LENGTH	WIRE GAUGE	SIZE (INCHES)	PENETRATION REQUIRED
6D	2"	11	0.113	1"
8D	2 1/2"	10	0.131	1 1/4"
10D	3"	9	0.148	1 1/2"
12D	3"	9	0.148	1 1/2"
16D	3 1/2"	8	0.162	1 1/2"

## 6. NAILING SCHEDULE, MINIMUMS (CBC CHAPTER 23, TABLE 2304.10.2)

- BLKNG AT CEILING JOISTS, RAFTERS, OR TRUSSES TO TOP PLATE OR OTHER FRAMING, T.N.
- BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WALL TOP PLATE TO RAFTER OR TRUSS, T.N.
- BLKNG AT CEILING RAFTERS OR TRUSSES NOT AT WALL TOP PLATE TO RAFTER OR TRUSS, E.N.
- FLAT BLKNG TO TRUSS AND WEB, F.N.
- CEILING JOISTS TO TOP PLATE, T.N.
- CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, F.N. PER 2308.7.3.1
- CEILING JOISTS ATTACHED TO PARALLEL RAFTER (HEEL JOINT), F.N. PER 2308.7.3.1
- COLLAR TIE TO RAFTER, F.N.
- RAFTER/TRUSS TO TOP PLATE, T.N. PER TABLE 2308.7.3.5
- RAFTERS TO RIDGE VALLEY OR HIP, OR FATER TO 2" RIDGE BEAM
- TOENAIL  
ENDNAIL
- STUD TO STUD (NOT AT BRACED WALL PANELS)
- STUD TO STUD AT INTERSECTING WALL CORNERS (BRACED WALL)
- BUILT-UP HEADER (2" TO 2"), FN EA. EDGE
- CONT. HEADER TO STUD, T.N.
- TOP PLATE TO TOP PLATE
- 16d Com @ 16" o.c. FN OR 10d Box, 3" x 0.131" nails, 3" 14 gage staples @ 12" o.c. FN
- TOP PLATE TO TOP PLATE, AT END JOINTS (EACH SIDE OF END JOINT), FACENAIL
- 24" MIN LAP SPLICE EA. SIDE
- BOTTOM PLATE TO JOIST, RIM, OR BLKG, FACENAIL
- UNBRACED WALL: 16" o.c. FN  
UNBRACED WALL: 12" o.c. FN  
BRACED WALL: 16" o.c. FN
- STUD TO TOP OR BOTTOM PLATE
- TOENAIL  
ENDNAIL
- TOP PLATES, LAPS AT CORNERS AND INTERSECTION, F.N.
- 1" BRACE TO EACH STUD AND PLATE, F.N.
- 1"x6" SHEATHING TO EACH BEARING, F.N.
- 1"x8" SHEATHING AND WIDER TO EACH BEARING, F.N.
- JOIST TO SILL, TOP PLATE, OR GIRDER, T.N.
- RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER
- 1"x6" SUBFLOOR OR LESS TO EACH JOIST, F.N.
- 2" SUBFLOOR TO JOIST OR GIRDER, F.N. OR BLIND
- 2" PLANKS (PLANK & BEAM - FLOOR & ROOF), FACENAIL & EACH BEARING
- BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS
- 32" o.c. FN Top & BTM STAGGERED ON OPPOSITE SIDES  
24" o.c. FN Top & BTM  
ENDS & SPLICES, FN
- LEDGER SUPPORTING JOISTS/RAFTERS
- JOIST TO BAND OR RIM JOIST, END NAIL
- BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS EACH END, T.N.
- | WOOD STRUCT. PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHTNG TO FRMG AND PARTICLEBOARD WALL SHEATHING TO FRAMING | EDGES (IN) | INTERMEDIATE SUPPORTS (IN) |
|---|------------|----------------------------|
| 16d Com or deformed; or 2 1/2"x.113" nail (subfloor a&d wall)   | 6          | 12                         |
| 8d Com or deformed (roof) or 2 1/2" x.113" nail (roof)  | 6          | 6                          |
| 1 1/2" 16 Ga Staple, 1/8" crown (subfloor and wall)   | 4          | 8                          |
| 2 1/2" x.113"x.266" head nail (roof)  | 3          | 3                          |
| 1 1/2" 16 Ga Staple, 1/8" crown (roof)  | 6          | 3                          |
| 8d Com or deformed (subfloor and wall)  | 6          | 12                         |
| 8d Com or deformed (roof) or 2 1/2" x.113" nail (roof) <sup>d</sup>   | 6          | 6                          |
| 2 1/2" x.113"x.266" head nail, 2" 16 Gage staple, 1/8" crown  | 4          | 8                          |
| 10d Com or (3"x0.148"); or deformed (2 1/2" x.131"x.281 head)   | 6          | 12                         |
- OTHER EXTERIOR WALL SHEATHING (FIBERBOARD)
- |  |   |   |
|--|---|---|
| 1 1/2" x0.120", galvanized roofing nail (1/8" head dia) or 1 1/2" 16 Ga Staple w/ 1/8" or 1" crown | 3 | 6 |
| 1 1/2" x0.120", galvanized roofing nail (1/8" head dia) or 1 1/2" 16 Ga Staple w/ 1/8" or 1" crown | 3 | 6 |
- WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING
- |                 |  |   |    |
|-----------------|--|---|----|
| 3/4" & LESS     | 8d COMMON (2 1/2"x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")      | 6 | 12 |
| 5/8" - 1"       | 8d COMMON (2 1/2"x0.131"); or deformed (2"x0.113"); or deformed (2"x0.120")      | 6 | 12 |
| 1 1/2" - 1 3/4" | 10d COMMON (3"x0.148"); or deformed (2 1/2"x0.131"); or deformed (2 1/2"x0.120") | 6 | 12 |
- PANEL SIDING TO FRAMING
- |             |  |   |    |
|-------------|--|---|----|
| 3/4" & LESS | 6d corrosion-resistant siding (1 1/2"x.106"); or 6d corrosion-resistant (2"x.099")             | 6 | 12 |
| 5/8"        | 8d corrosion-resistant siding (2 1/2"x.128"); or 8d corrosion-resistant casing (2 1/2"x0.113") | 6 | 12 |
- INTERIOR PANELING
- |      |  |   |    |
|------|--|---|----|
| 1"   | 4d casing (1 1/2"x0.080"); or 4d finish (1 1/2"x0.072")                        | 6 | 12 |
| 3/8" | 6d casing (2"x0.099"); or 6d finish (2"x.092") - (Panel supports at 24 inches) | 6 | 12 |

## 8. STATEMENT OF SPECIAL INSPECTIONS

800. RETROFIT ANCHOR BOLTS FOR MISPLACED HOLDOWNS WITH ALL-THREAD ROD AND SIMPSON SET-XP EPOXY REQUIRE SPECIAL INSPECTION. (NO SPECIAL INSPECTION IS REQUIRED FOR RETROFIT ANCHOR BOLTS OR TITEN HD'S WITHOUT A HOLDOWN ATTACHED.)
801. PER CBC 1705.3 SPECIAL INSPECTION IS NOT REQUIRED FOR NON-STRUCTURAL SLABS ON GRADE NOR FOR CONCRETE FOOTINGS THAT SUPPORT 3 STORIES ABOVE GRADE OR LESS.
802. PER CBC 1705.11 SPECIAL INSPECTION IS NOT REQUIRED FOR SEISMIC COMPONENTS FOR DETACHED ONE- AND TWO-FAMILY DWELLINGS NOT EXCEEDING 2 STORIES ABOVE GRADE.

## 9. SOILS REPORT

- A SOILS REPORT MAY BE REQUIRED BY THE BUILDING OFFICIAL. IN-LIEU OF THE SOILS REPORT A CONSERVATIVE VALUE FOR THE SOIL BEARING ALLOWABLE OF 1500 PSF HAS BEEN USED IN DESIGN OF THE BUILDING.

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FOOTNOTES:  
a. Nails spaced at 6 inches at intermediate supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2305. Nails for wall sheathing are permitted to be common box or casing.  
b. Spacing shall be 6 inches on center on the eaves and 12 inches on center at intermediate supports for nonstructural applications. Panel supports at 16 inches (20 inches if strength axis in the long direction of the panel, unless otherwise marked).  
c. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule and the ceiling joist is fastened to the top plate in accordance with this schedule, the number of toenails in the rafter shall be permitted to be reduced by one nail.  
d. RRSR-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1067.  
e. Fabricated fastener requirements apply where the ultimate design wind speed is less than 140 mph. For wood structural panel roof sheathing attached to gable-end roof framing and to intermediate supports within 48 inches of roof eaves and ridges, nails shall be spaced at 4 inches on center where the ultimate design wind speed is greater than 130 mph in Exposure B or greater than 110 mph in Exposure C. Spacing exceeding 6 inches on center at intermediate supports shall be permitted where the fastening is designed per the AWC NDS.  
f. Fastening is only permitted where the ultimate design wind speed is less than or equal to 110 mph.  
g. Nails and staples are carbon steel meeting the specifications of ASTM F1067. Connectors using nails and staples of other materials, such as stainless steel, shall be designed by acceptable engineering practice or approved under Section 104.11.

project

Town of Paradise  
Pre-Approved  
ADU Program

revisions

description

date ## Month 20##

project no. 20##-####

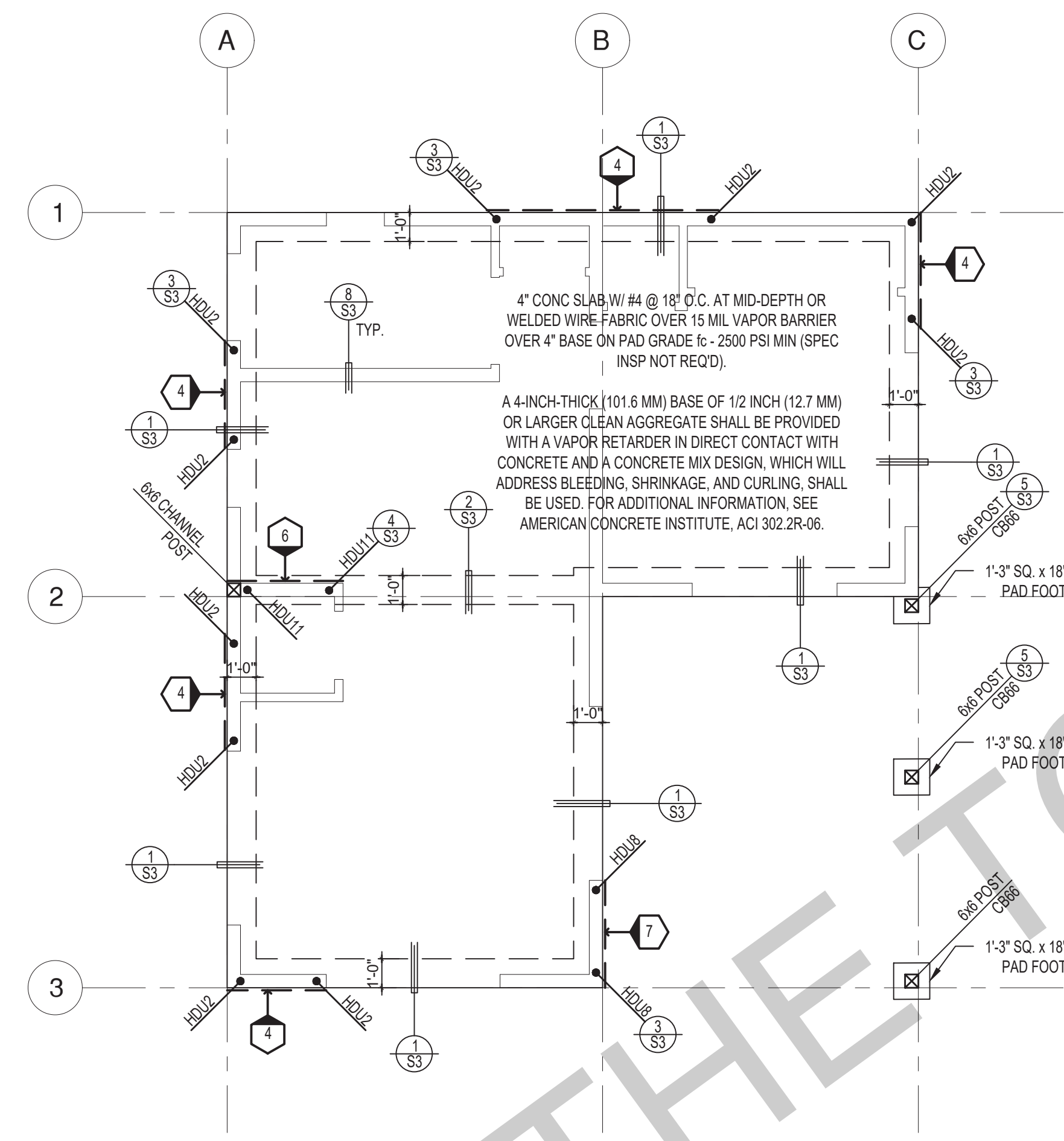
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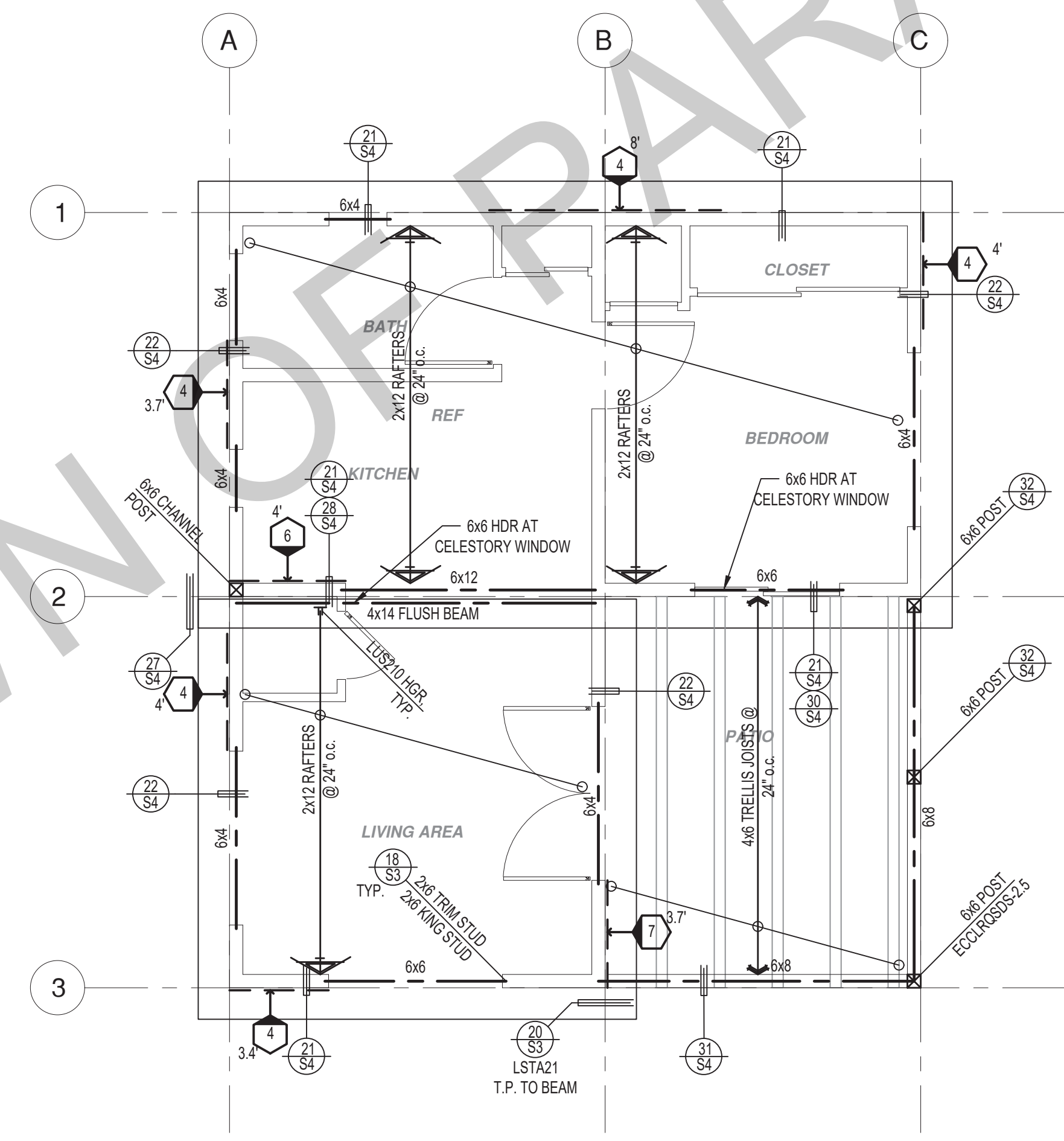








**FOUNDATION PLAN**  
1/4"=1'-0" COOP - REVERSED



**ROOF FRAMING PLAN**  
1/4"=1'-0" COOP - REVERSED

**SHEAR WALL SCHEDULE (ASD VALUES)**

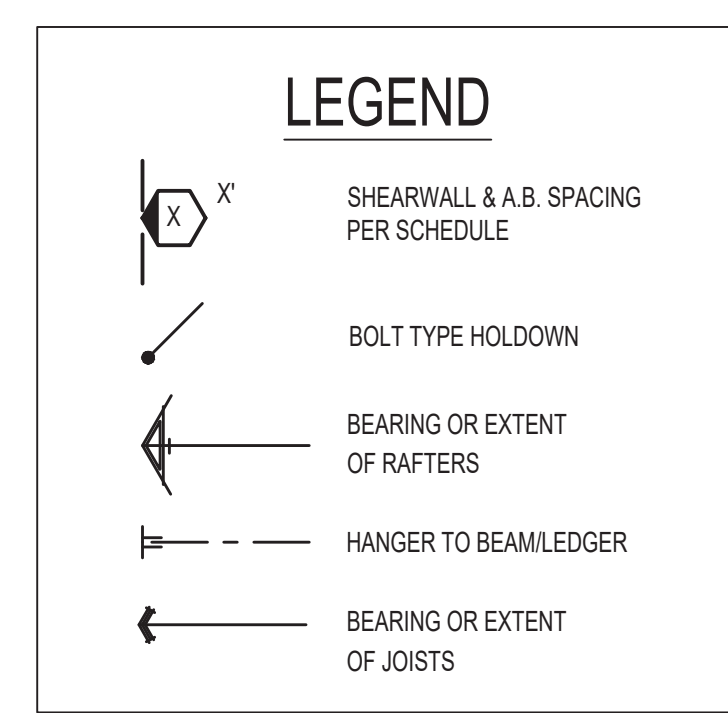
	4	5	6	7	8	9
SHEARWALL DESCRIPTION (See footnotes 1 & 4)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 6" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 4 1/2" o/c edge, 12" o/c field, blocked (See footnote 3)	3/8" ply, C-D or C-C sheathing, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	3/8" rated STRUCT 1 panel, (1) side w/ 8d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3 & 4)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 3" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)	1/2" rated STRUCT 1 panel, (1) side w/ 10d @ 2" o/c edge, 12" o/c field 3x abutting panel studs blocked (See footnote 3, 4, & 5)
SHEAR VALUE (PLF)	260*	350*	490*	550*	665*	870*
ANCHOR BOLT SPACING	3/8" @ 48" or 1/2" @ 32"	3/8" @ 32" or 1/2" @ 24"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 24" or 1/2" @ 16"	3/8" @ 16" or 1/2" @ 24"	3/8" @ 12" or 1/2" @ 8"
16d (0.148") SILL NAILING	6"	4 1/2"	3 1/2"	3"	1/2" x 4 1/2" SDS screws @ 8"	1/2" x 4 1/2" SDS screws @ 8"
SPACING OF A36/LTP4 FRAMING TO TOP PLATE	32" O.C.	18" O.C.	12" O.C.	12" O.C.	8" O.C.	8" O.C.

**SHEAR WALL FOOTNOTES**

- AT PLYWOOD OR OSB PS-1 OR PS-2 RATED PANELS USE COMMON NAILS OR GALVANIZED BOX NAILS (2) LAYERS OF PAPER EXTERIOR PLYWOOD REQUIRED. SHEARWALL BE APPLIED OVER STUDS @ 16" O.C. GALVANIZED NAILS SHALL NOT BE HOT-DIPPED OR TUMBLED.
- SILL PLATES & WASHERS SHALL COMPLY WITH THE CONCRETE FOUNDATION CONSTRUCTION AND WOOD FRAMING CONSTRUCTION NOTES. (SEE NOTES #206, 208, 209, 307, 308, 309, ETC.)
- IN PLYWOOD SHEARWALLS, THE EDGE OF THE 3" SQUARE WASHERS (SEE NOTE #206) SHALL BE 1/2" OR LESS FROM THE EDGE OF THE SILL PLATE ON THE SIDE OF THE SHEATHING. ALL NAILING SHALL BE 3/8" MIN. FROM THE EDGE OF SHEATHING.
- WHERE ALLOWABLE SHEAR VALUES EXCEED 350 PLF (SHEARWALL TYPES 6, 7, 8, & 9) ALL FRAMING RECEIVING NAILING FROM ABUTTING PANEL EDGES SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR (2) 2X MEMBERS NAILED WITH 10D, SPACING EQUAL TO THE E.N. SPACING. PLYWOOD JOINT AND SILL NAILING SHALL BE STAGGERED.
- IN SHEARWALL TYPES 8 & 9, SILL PLATE NAILING SHALL BE STAGGERED. AT SECOND FLOOR CONDITIONS, PROVIDE ADEQUATE RIM OR BLOCKING TO PREVENT SPLITTING.
- ALLOWABLE SHEAR VALUES FOR PLYWOOD SHEARWALLS MAY BE INCREASED BY 40% UNDER WIND LOADING.

**FOUNDATION NOTES**

- ALL ANCHOR BOLTS, HOLDOWN ANCHORS, & REINF. MUST BE SECURELY TIED IN PLACE PRIOR TO FDTN. INSP.
- ALL EXTERIOR STUDS TO BE 2x6 @ 16" O.C.
- THE MINIMUM NOMINAL ANCHOR BOLT DIAMETER SHALL BE 1/2 INCH NOTE: THIS WILL REQUIRE A MINIMUM DISTANCE FROM THE ENDS OF SILL PLATES TO BE 4" (AND A MAXIMUM OF 12")
- PLATE WASHERS (MINIMUM SIZE OF 3" x 3" x 1/4") SHALL BE USED ON EACH ANCHOR BOLT.
- PROVIDE CONC SLAB JOINTS AT NO MORE THAN 15 FT EA. WAY
- SEE SHT S3 FOR TYP. CONCRETE & SLAB DETAILS 1-8
- POSTS W/O SPECIFIED BASE SHALL BE NAILED TO BOLTED SILL PLATES W/ (2) 16d T.N. EA. SIDE. TYP.
- FOOTINGS ADJACENT TO SLOPES GREATER THAN OR EQUAL TO 33.3% SHALL COMPLY WITH SETBACK REQUIREMENTS DEFINED IN CBC 1808.7.



\* PLEASE REFER TO NOTES 311 & 401 ON S1 FOR LUMBER GRADE SPECIFICATIONS.

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project  
Town of Paradise  
Pre-Approved  
ADU Program

revisions  
description  
**Foundation & Framing Plan - Reverse**

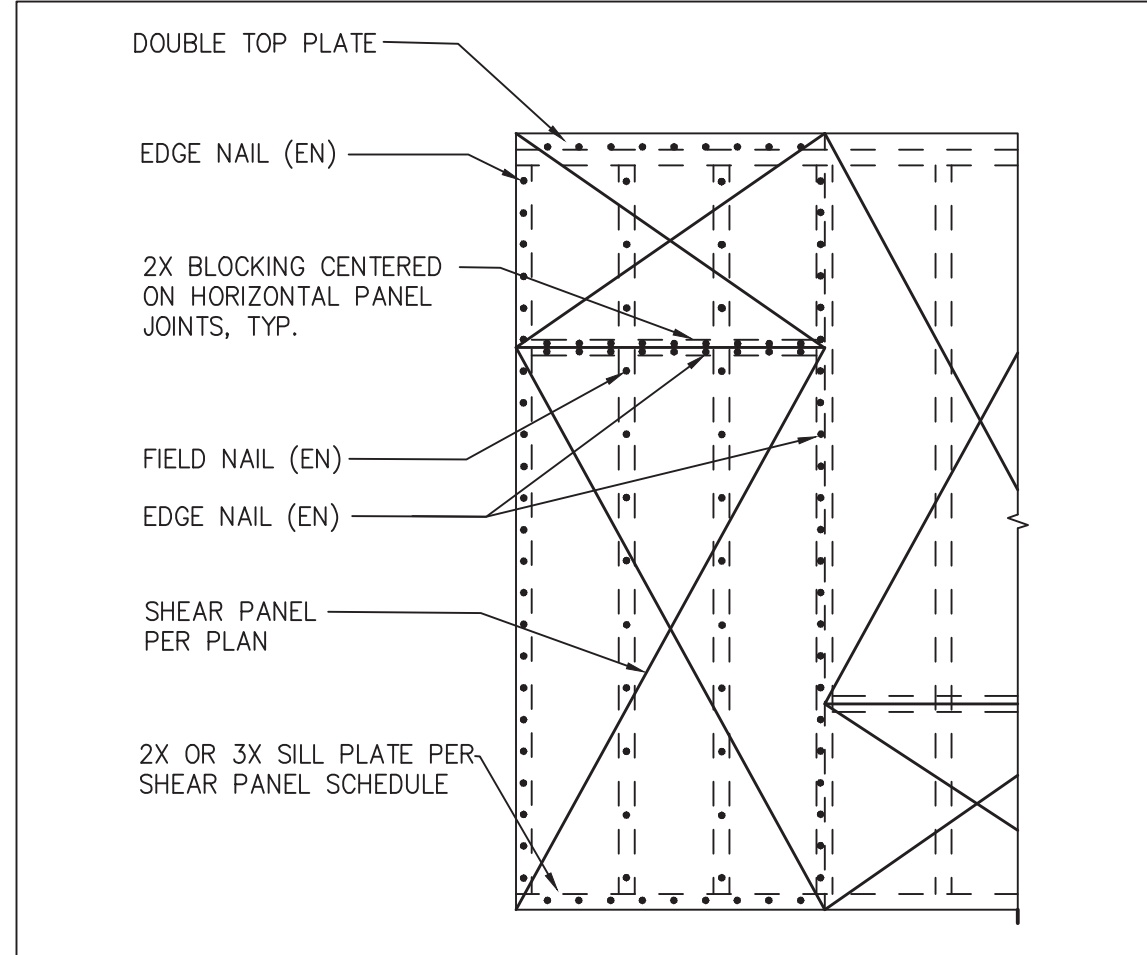
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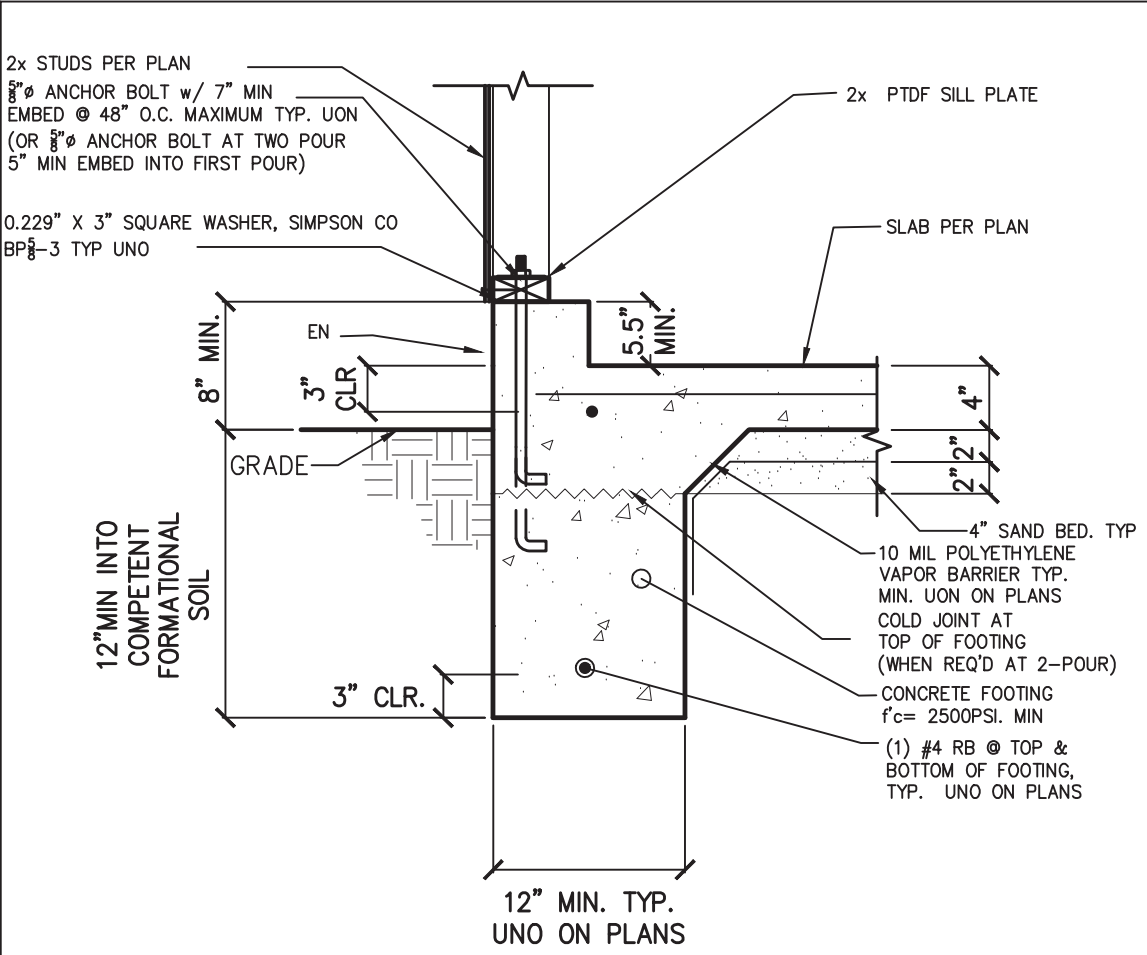
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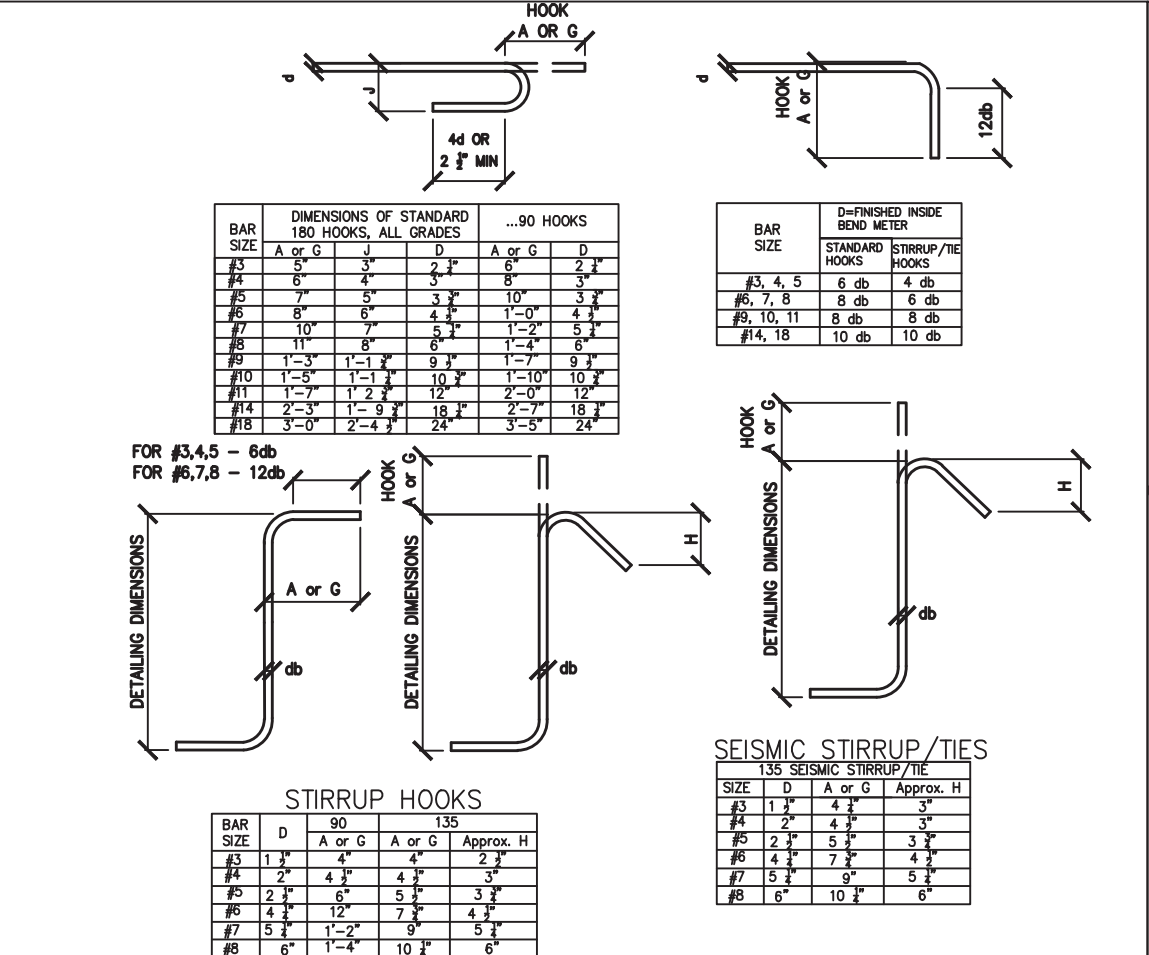




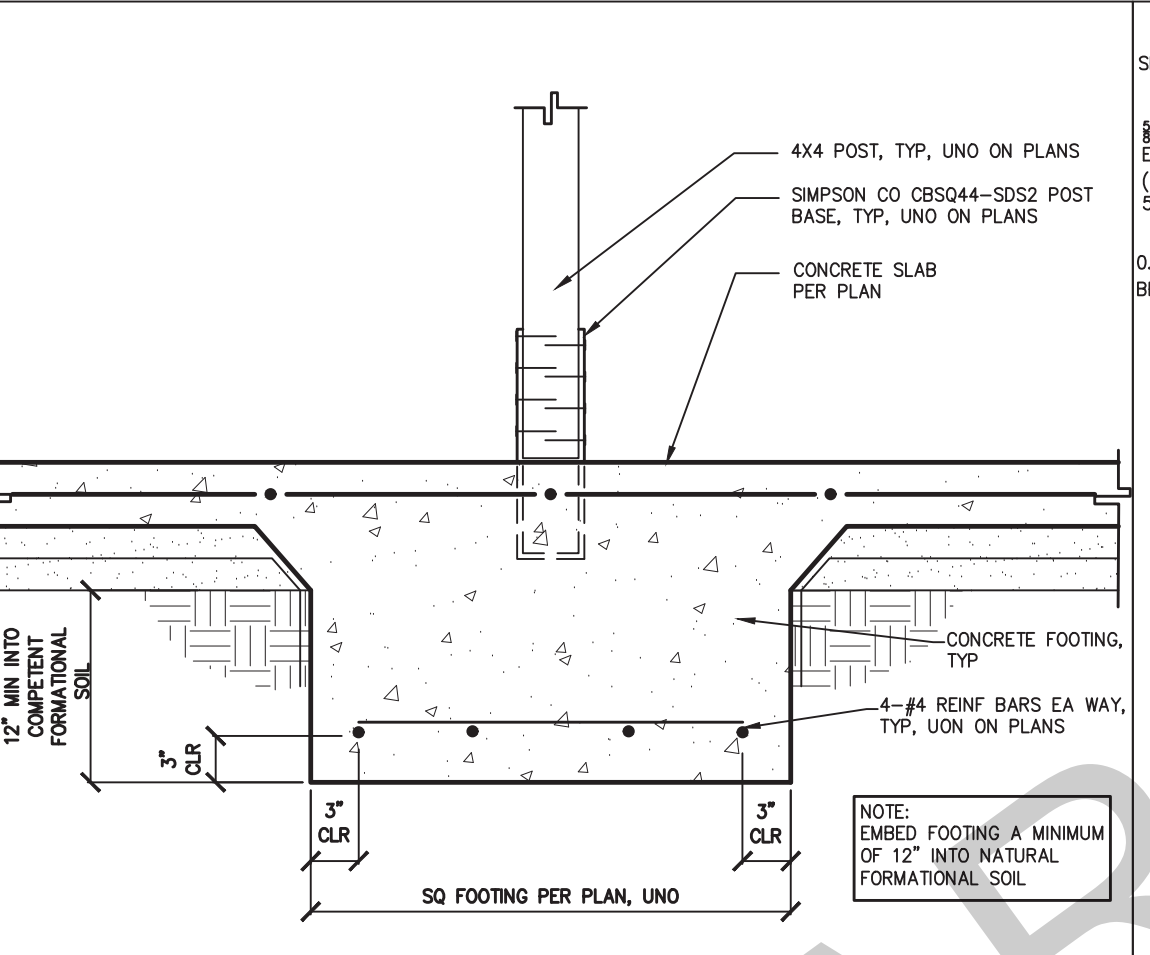
17 TYPICAL SHEAR PANEL SCALE: NTS



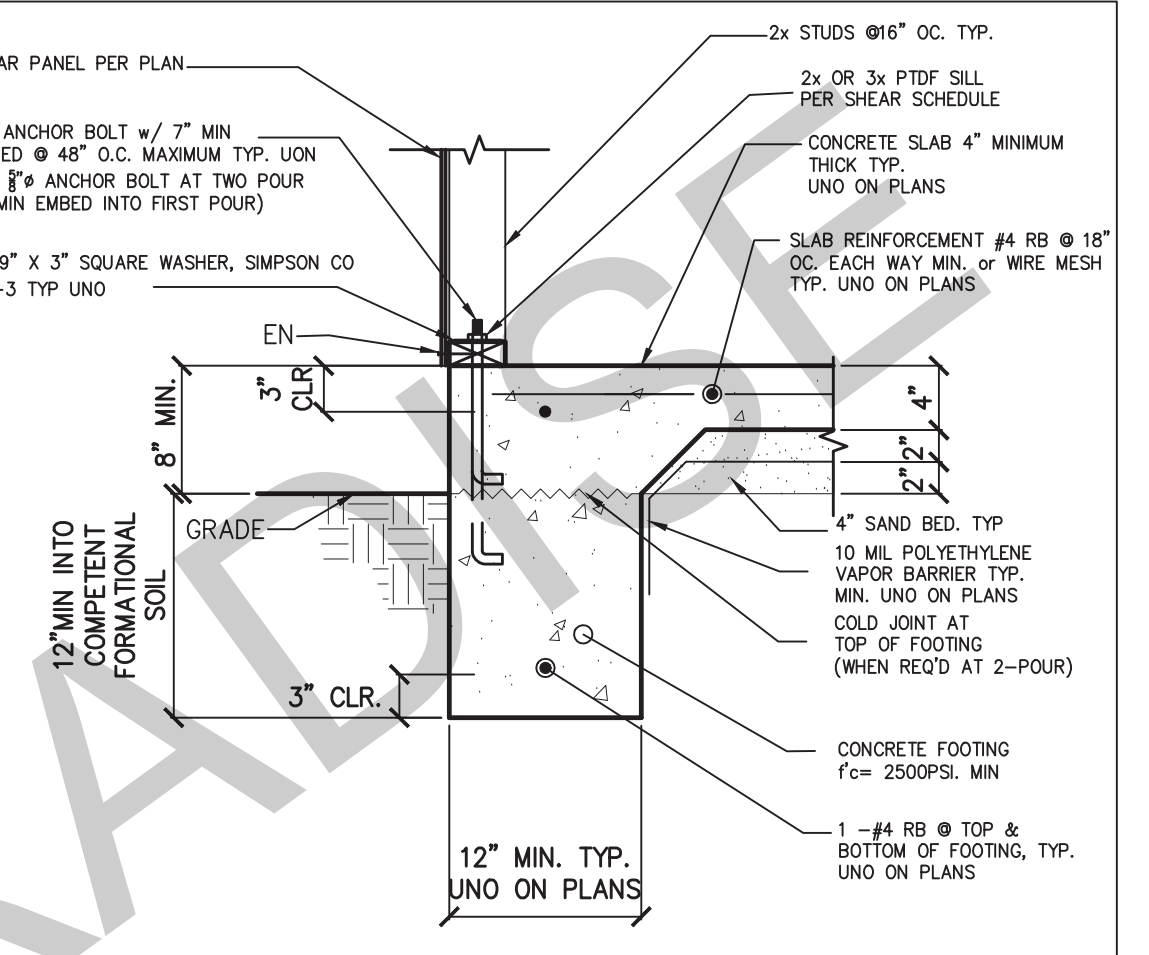
13 EXTERIOR WALL AT PORCH FOOTING SCALE: 1"=1'-0"



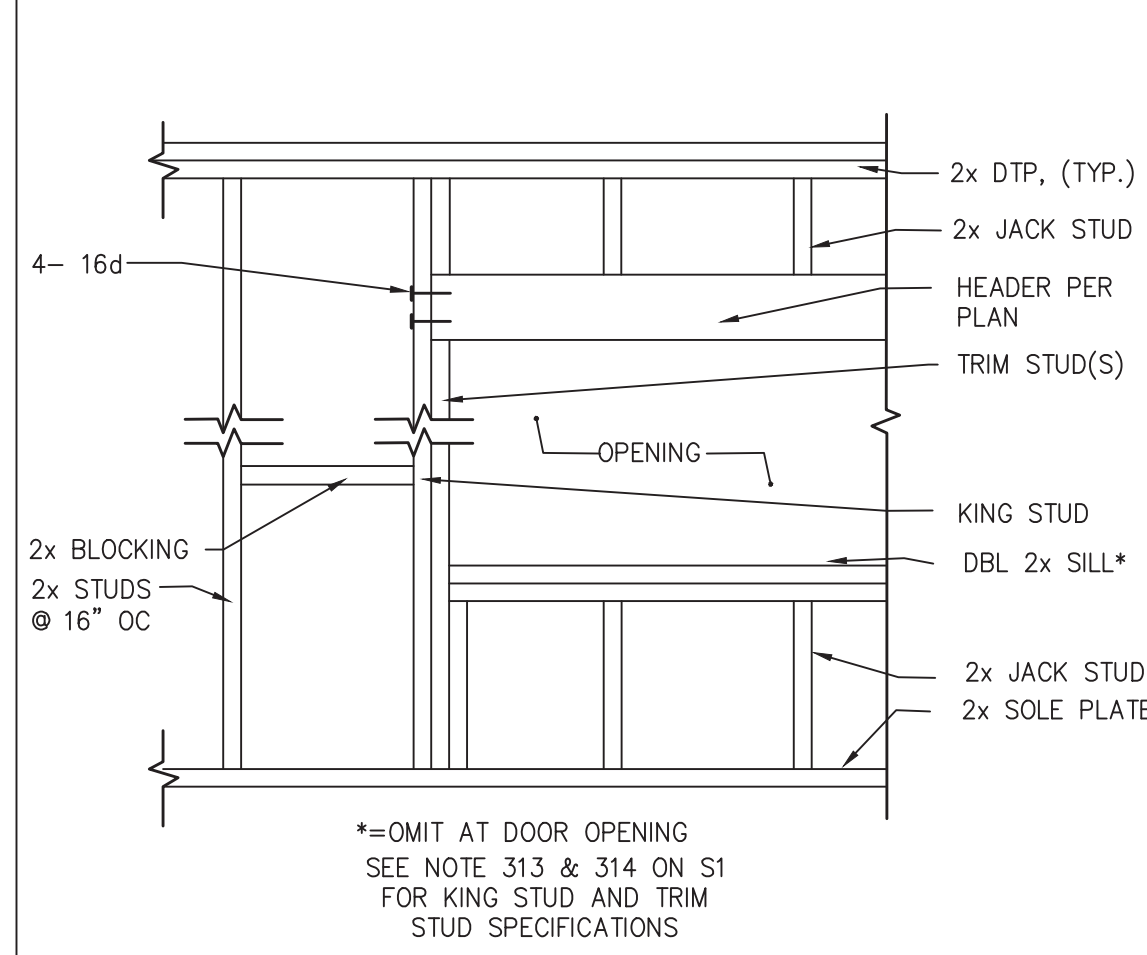
9 STANDARD HOOK DETAILS SCALE: NTS



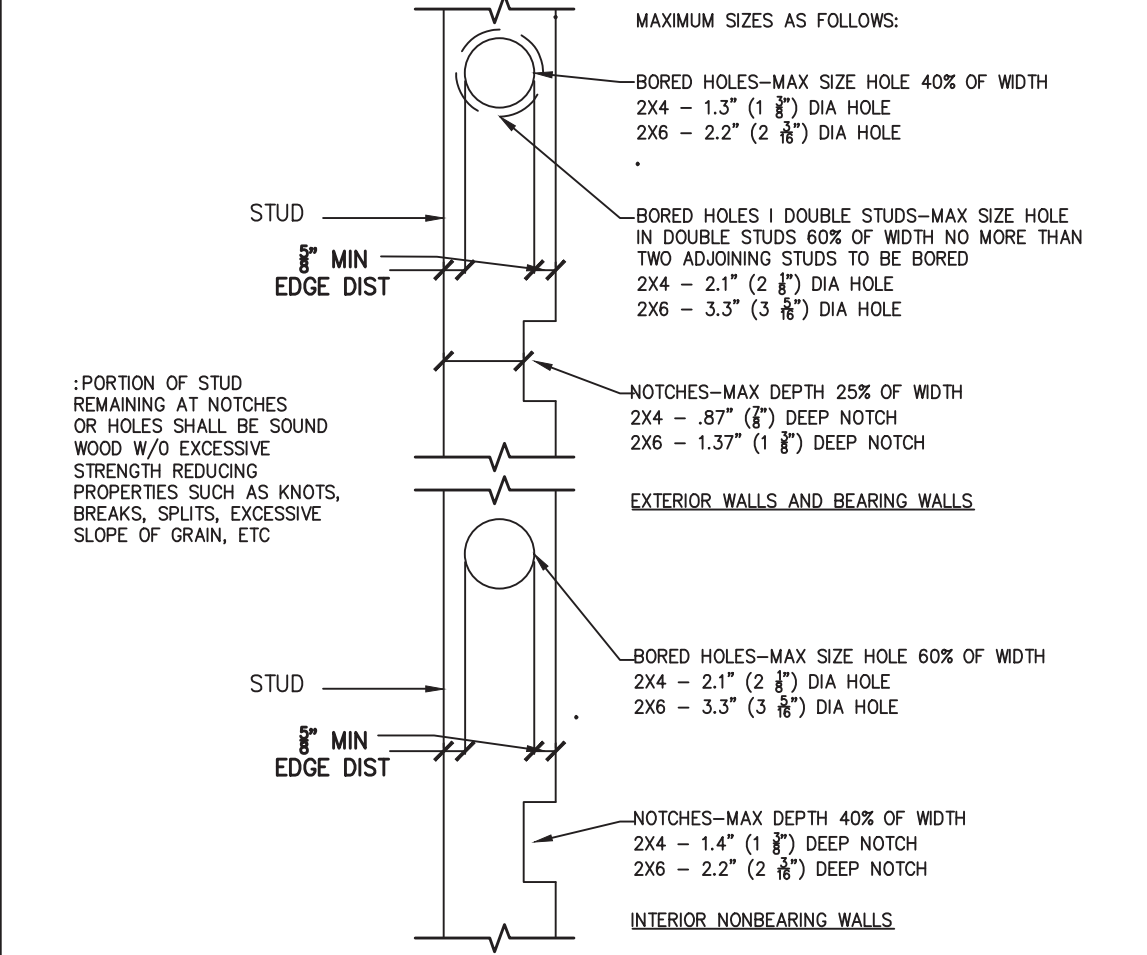
5 POST FOOTING WITH SLAB SCALE: 1"=1'-0"



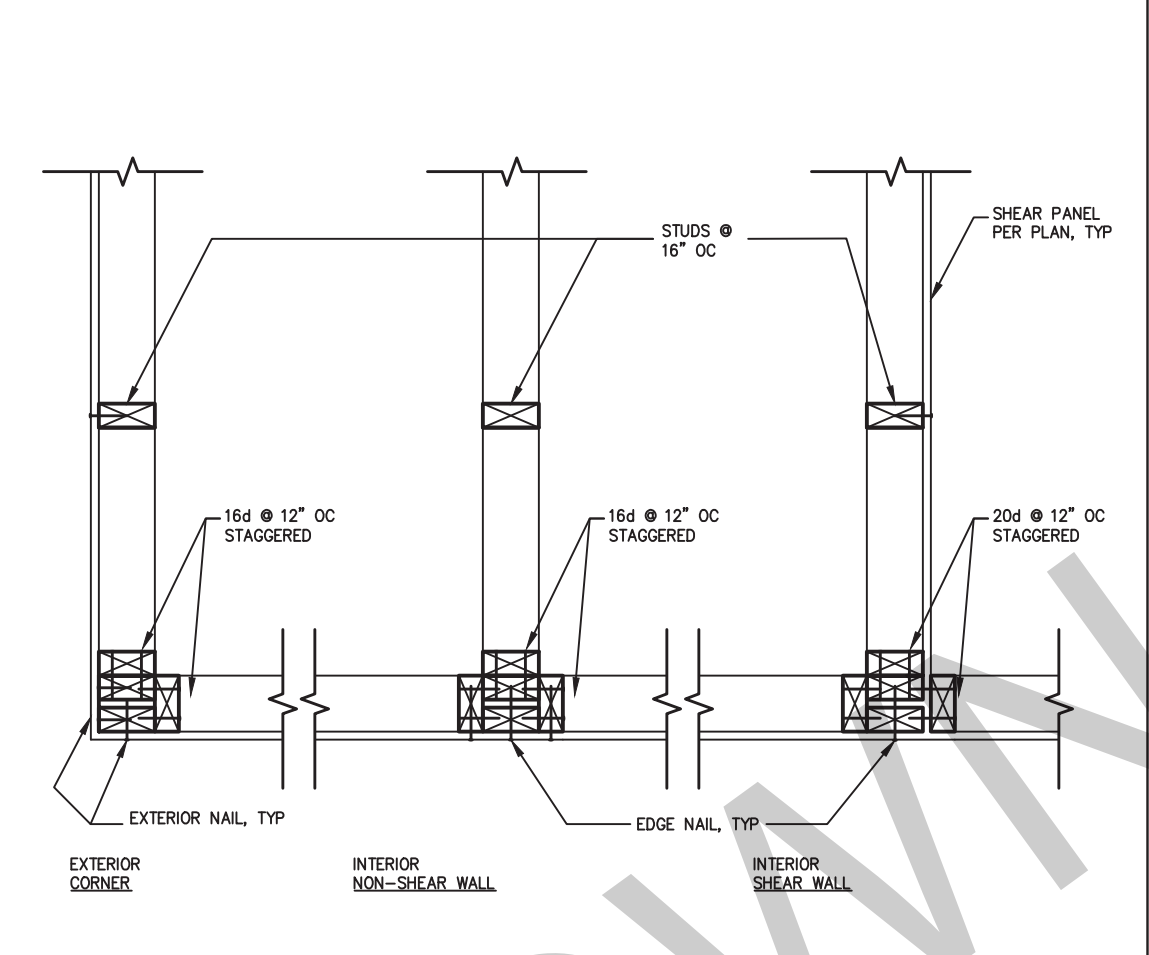
1 EXTERIOR FOOTING, TYPICAL SCALE: 1"=1'-0"



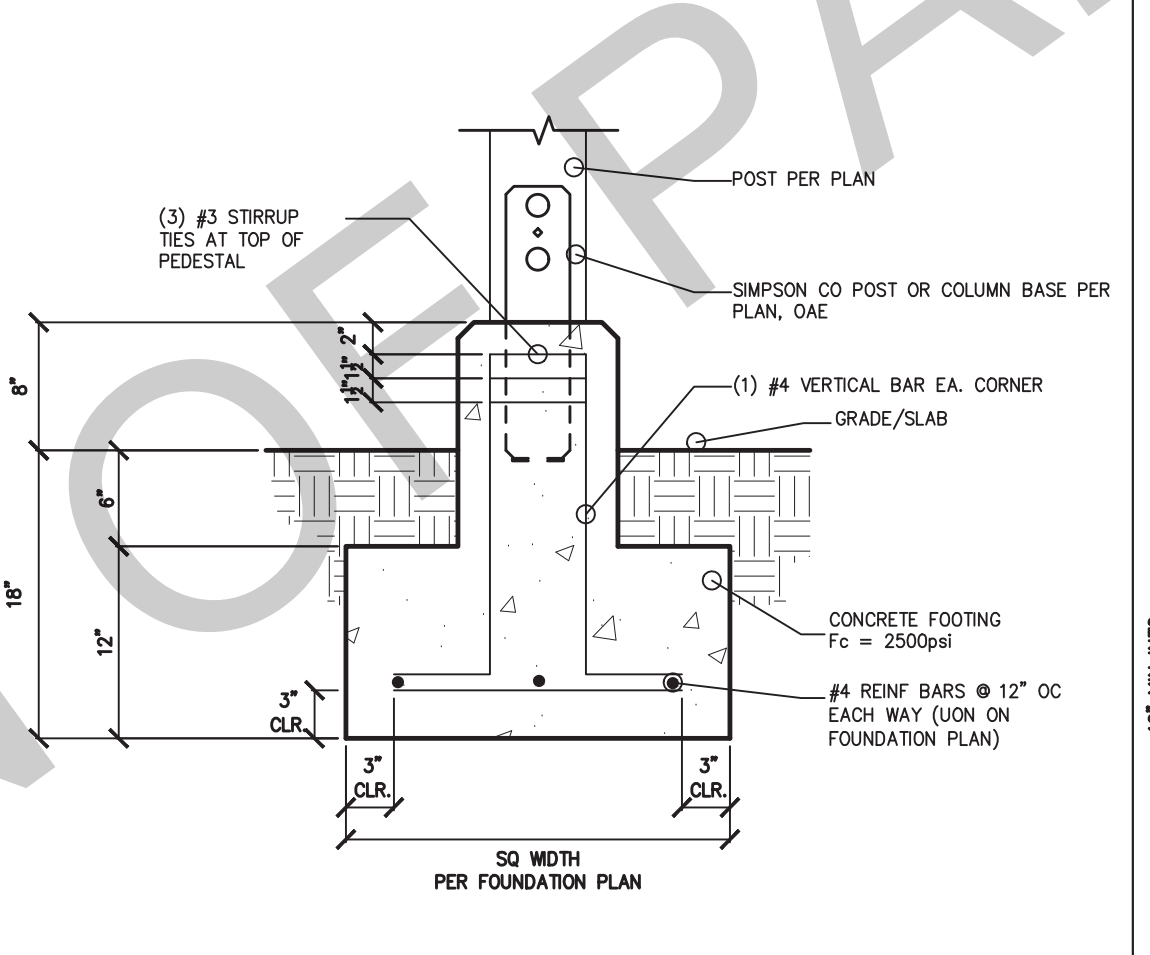
18 FRAMING FOR ROUGH WINDOW OR DOOR OPENING SCALE: 1 1/2"=1'-0"



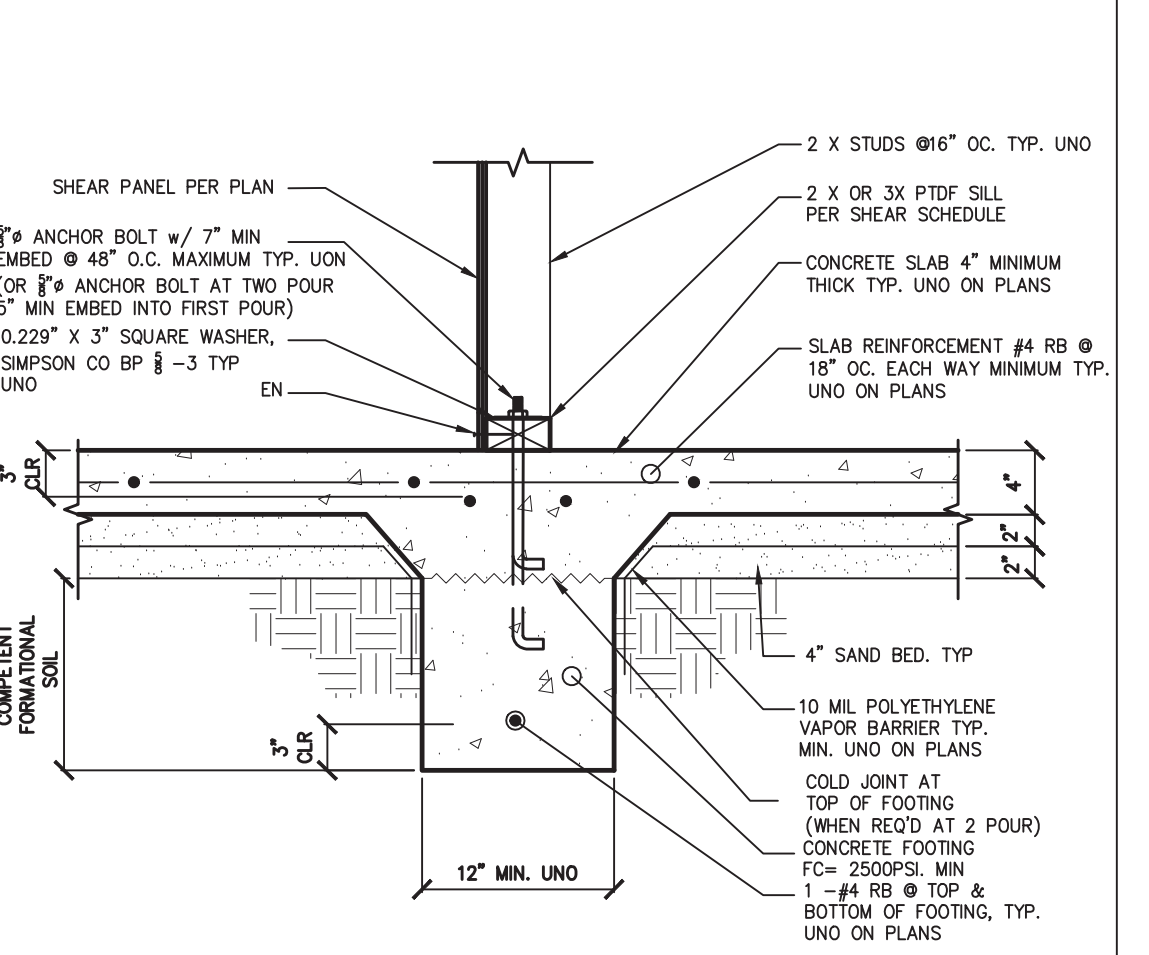
14 STUD CUTTING, BORING AND NOTCHING SCALE: 1"=1'-0"



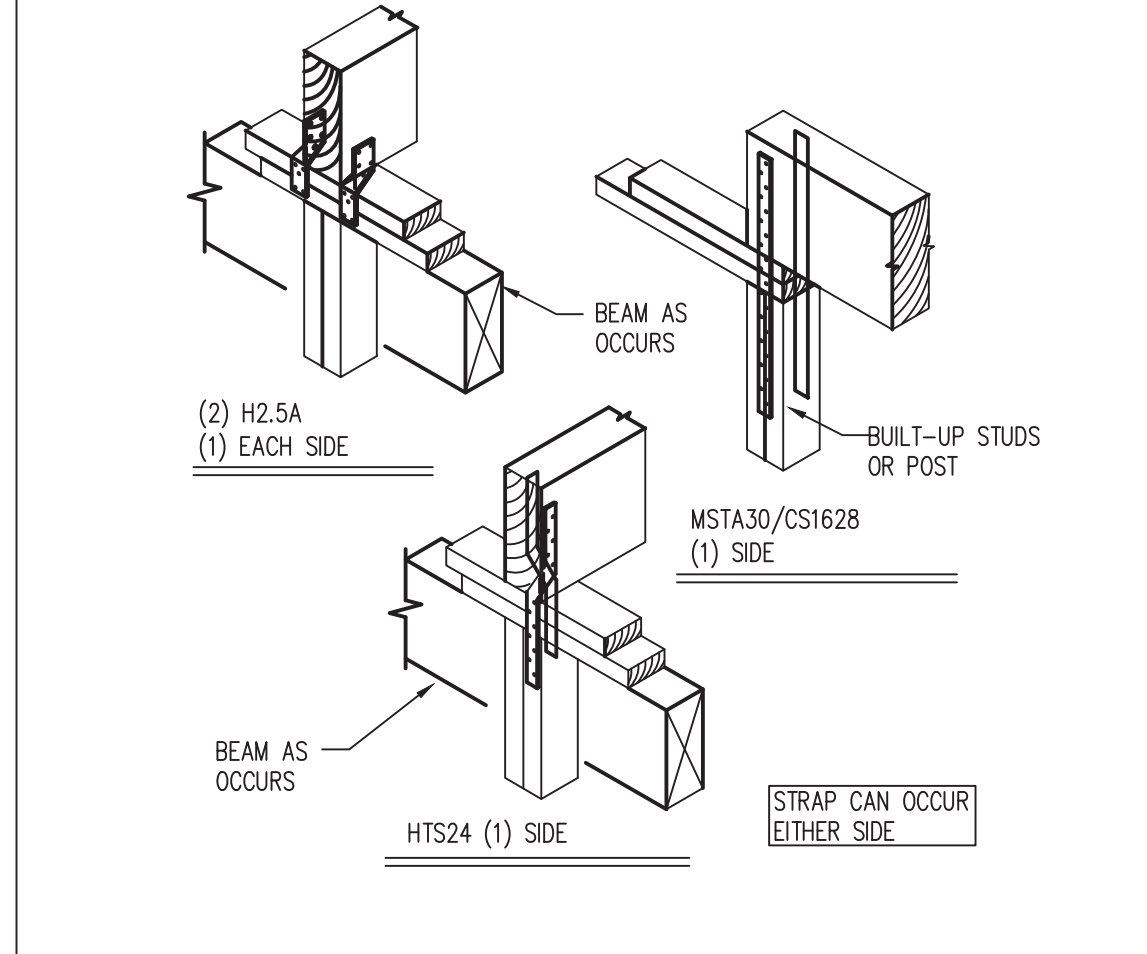
10 STUD WALL INTERSECTION SCALE: 1"=1'-0"



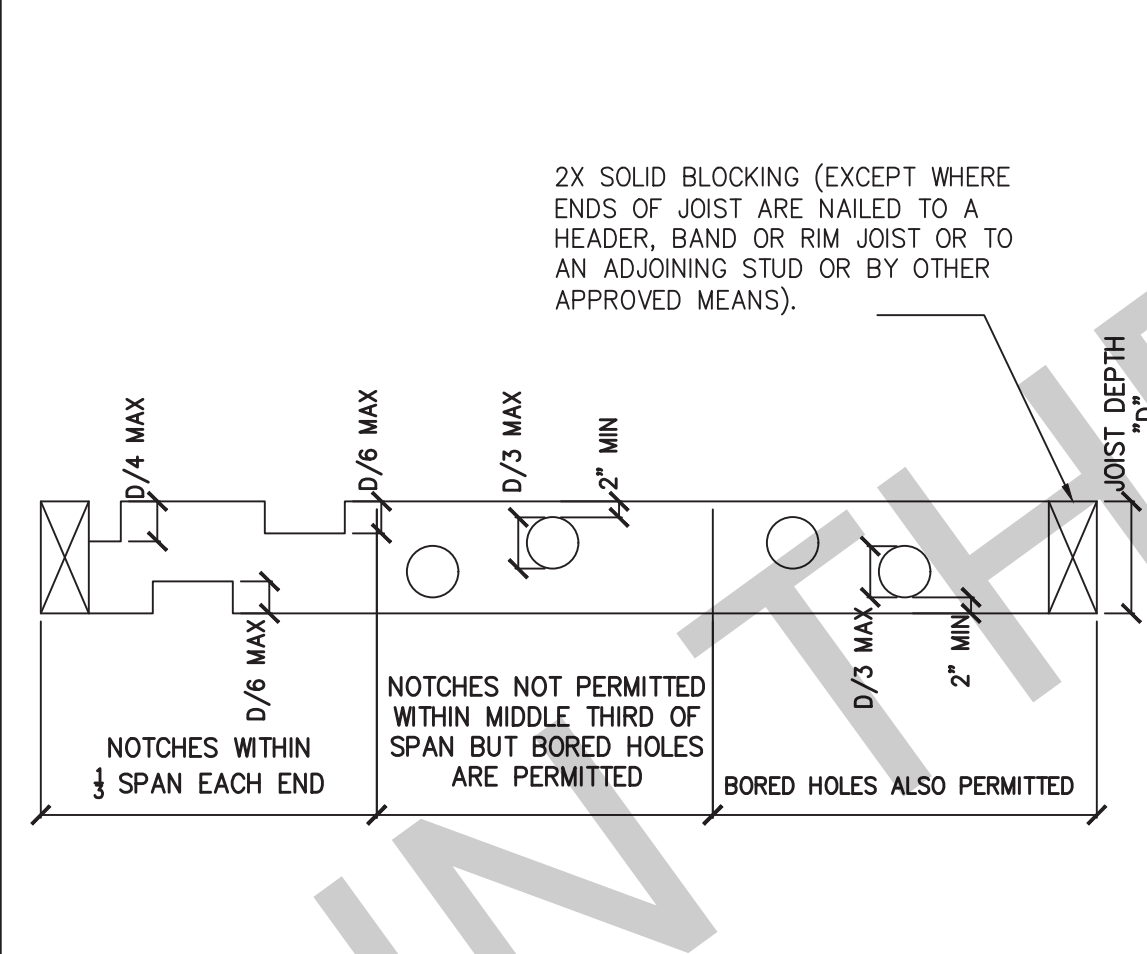
6 TYPICAL POST FOOTING SCALE: 1"=1'-0"



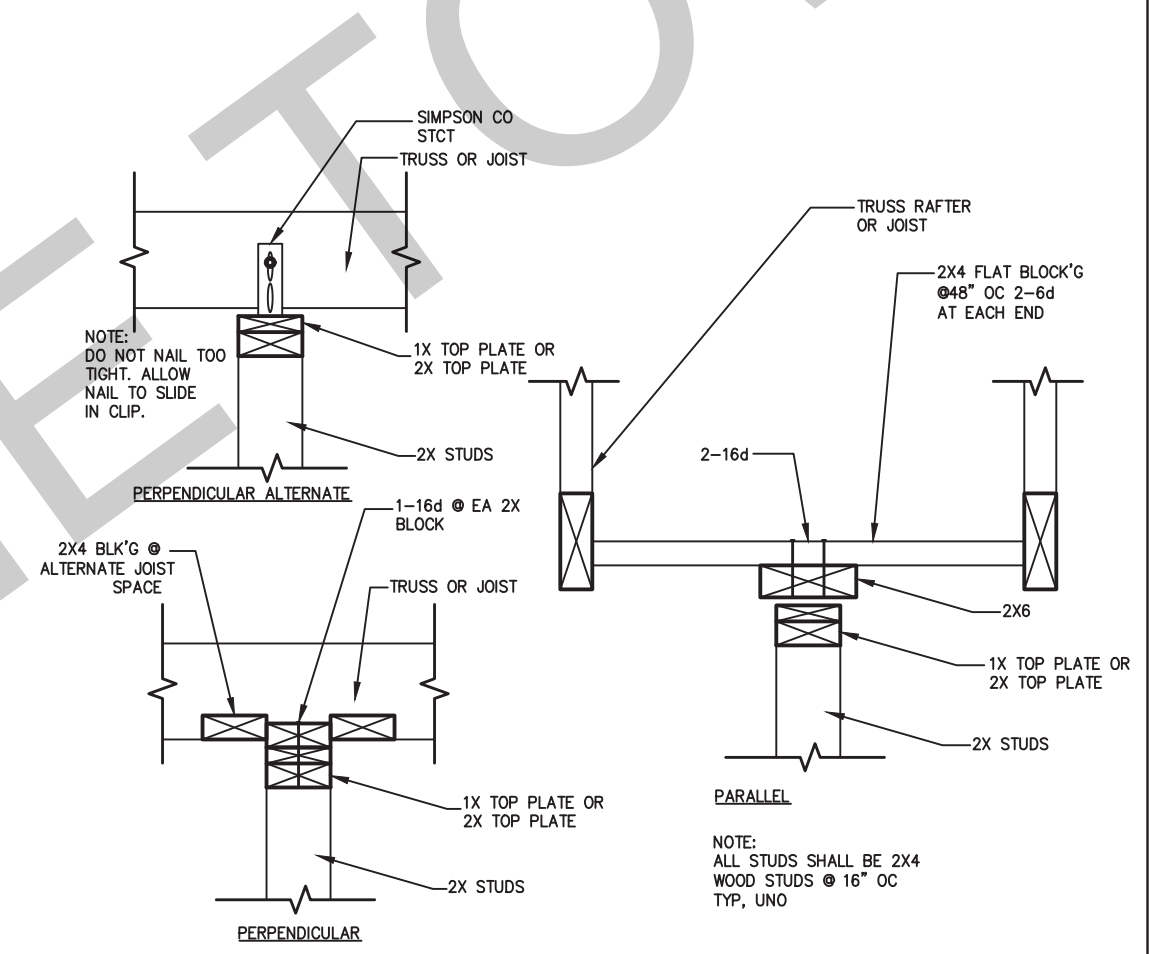
2 SLAB ON GRADE ONE STORY INTERIOR FOOTING SCALE: 1"=1'-0"



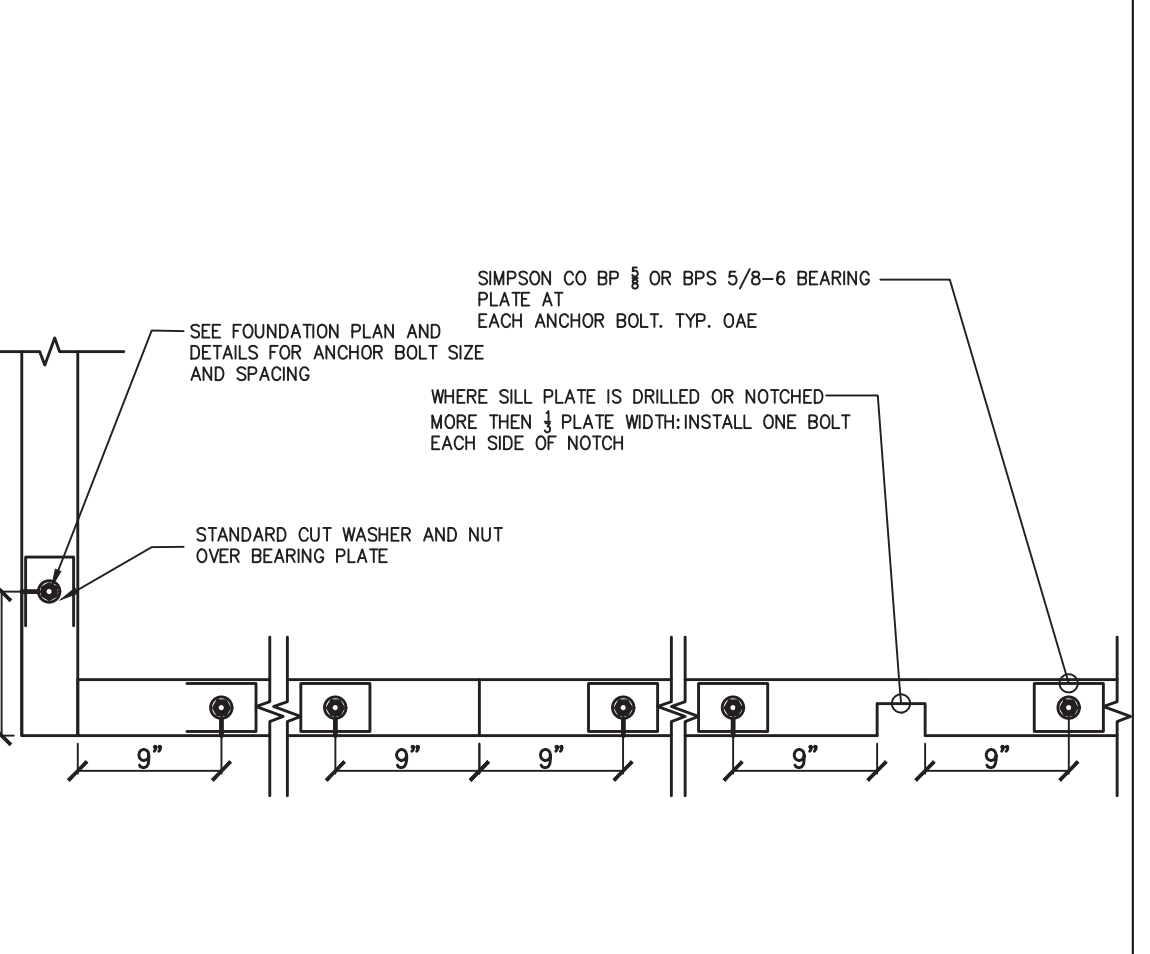
19 SUPPORT COLUMN TO BEAM SCALE: 1"=1'-0"



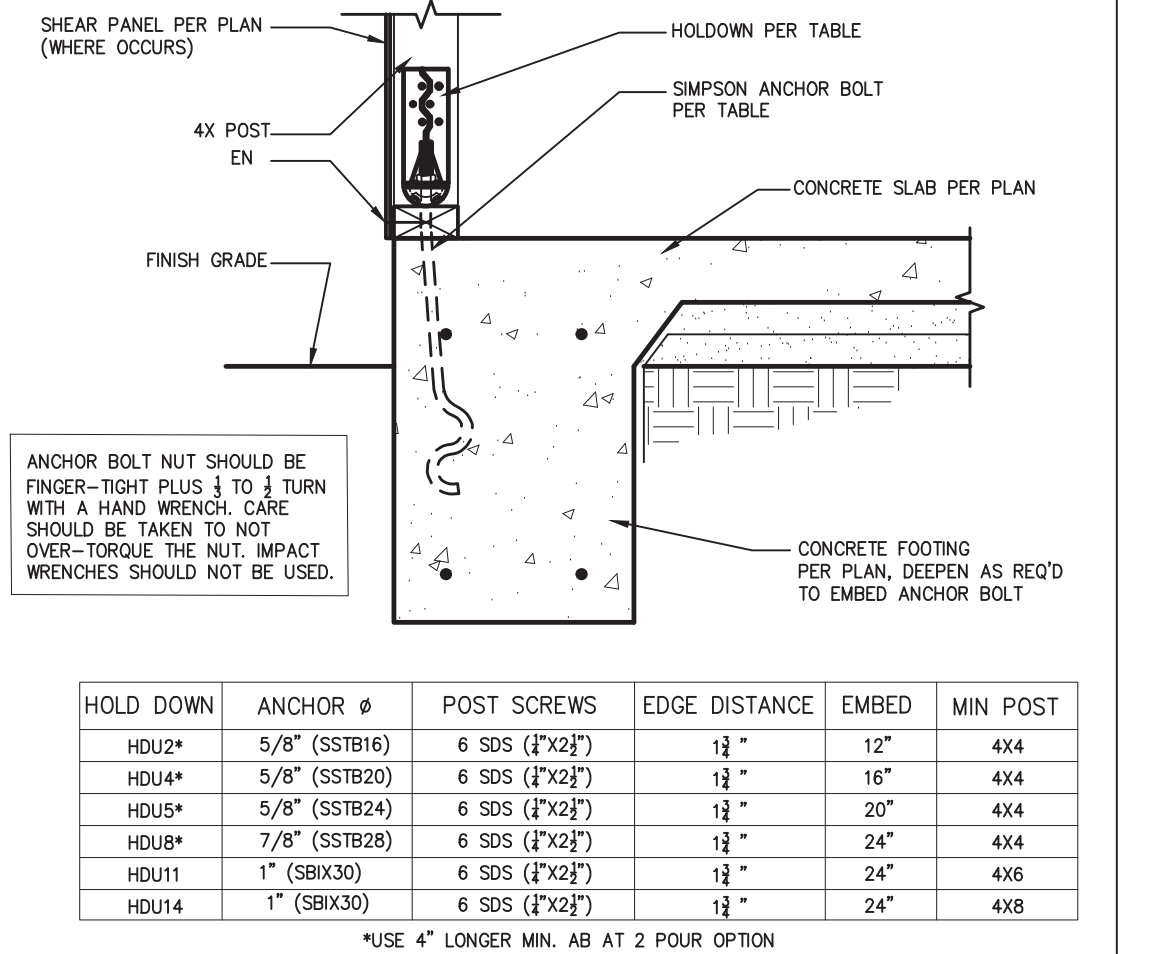
15 JOIST CUTTING, BORING AND NOTCHING SCALE: NTS



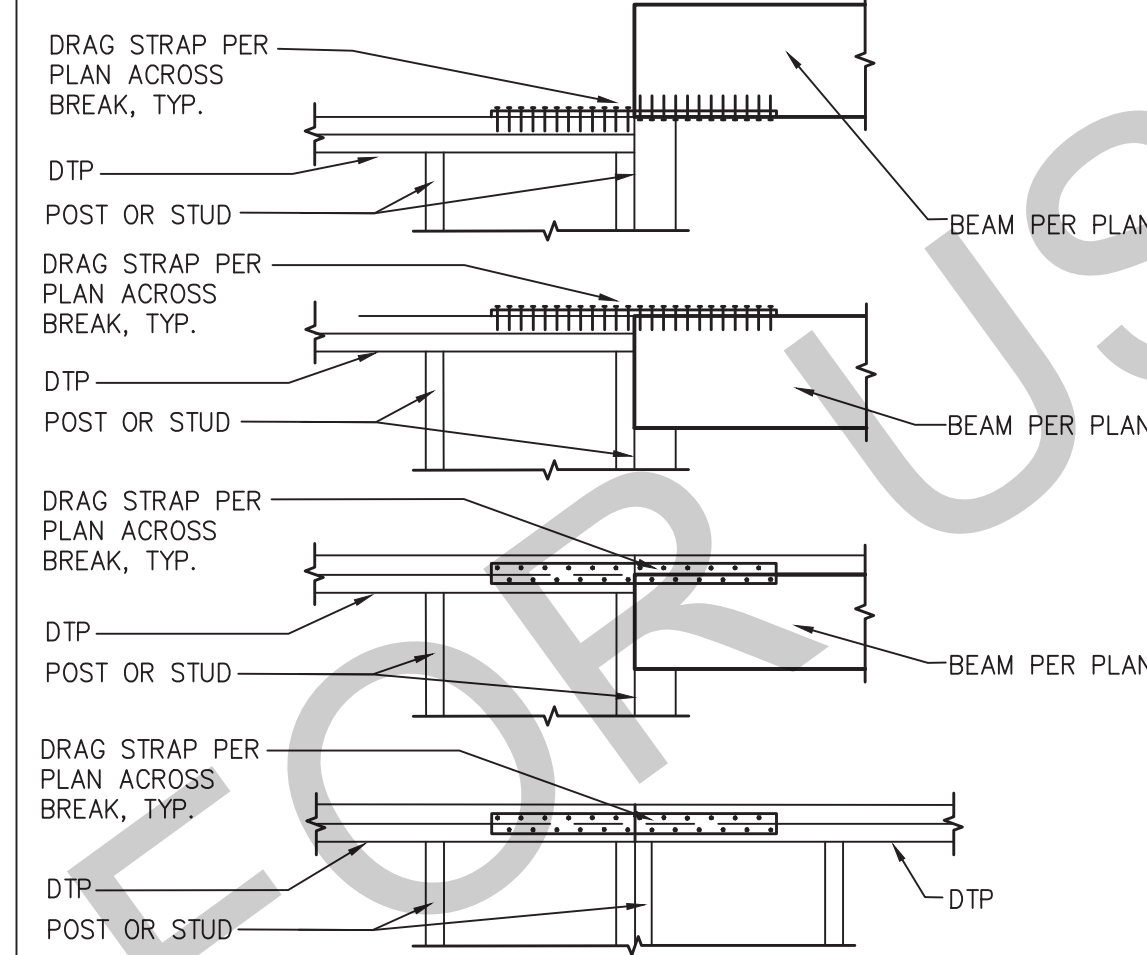
11 NON-BEARING/NON-SHEAR PARTITIONS AT TOP PLATE SCALE: 1"=1'-0"



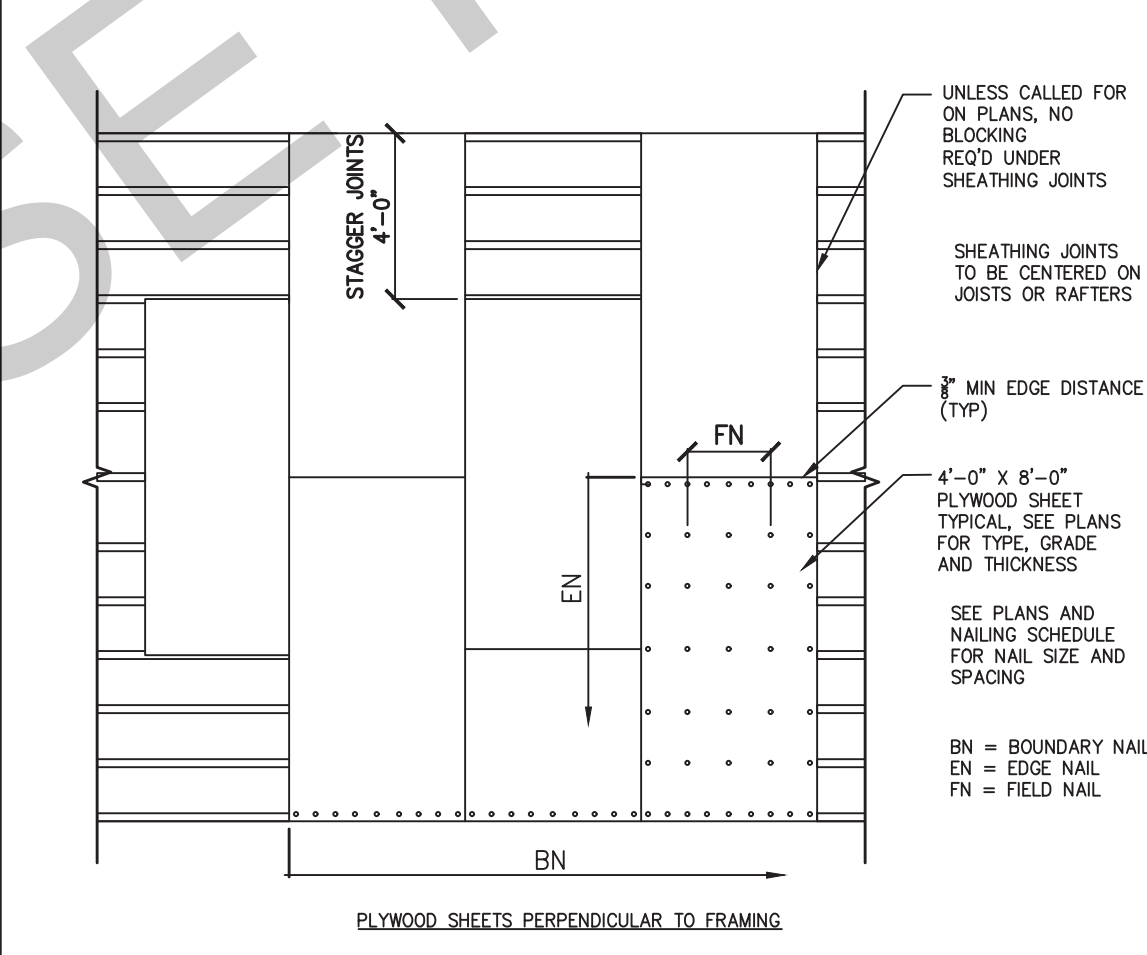
7 SILL PLATE ANCHOR BOLTING SCALE: 1"=1'-0"



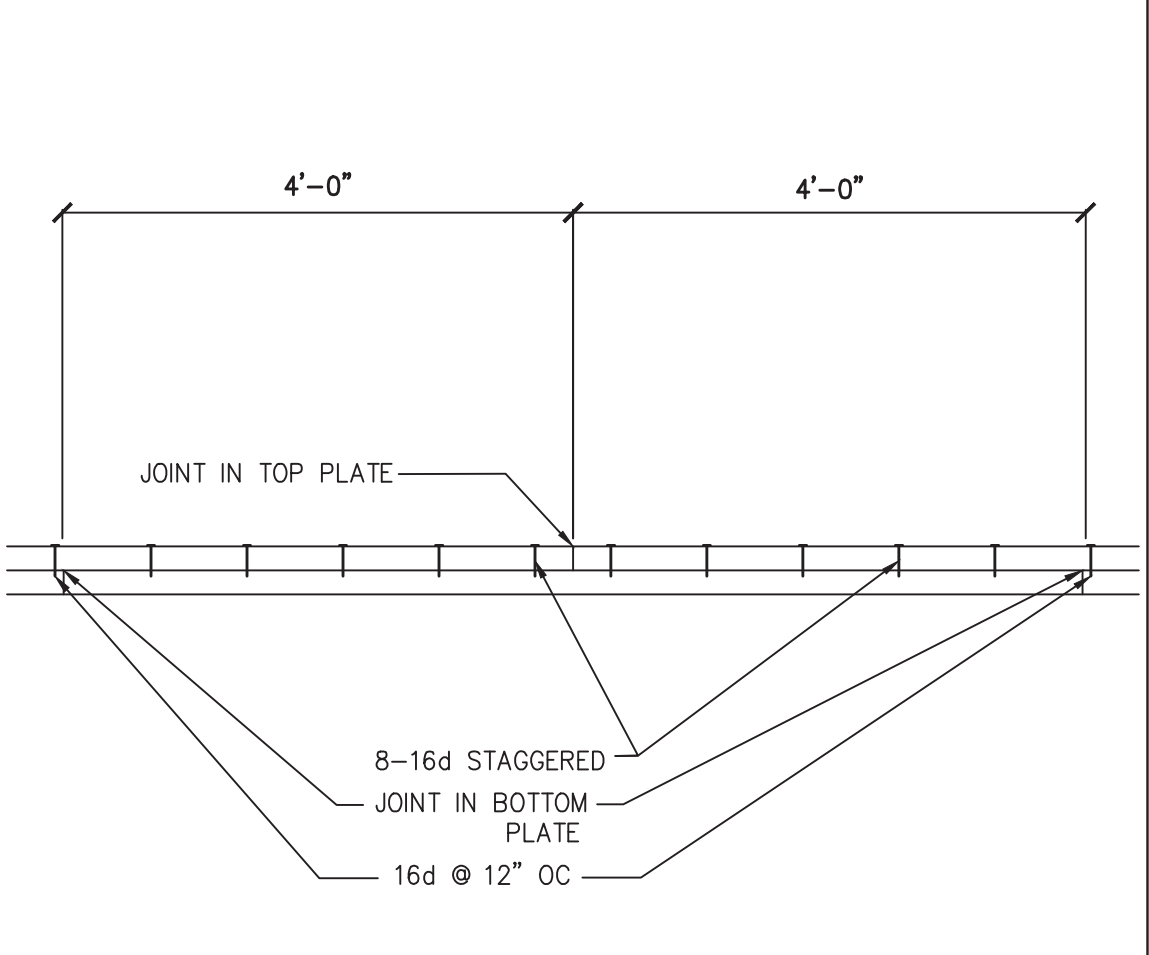
3 HOLDOWN - PERIMETER FOOTING SCALE: 1"=1'-0"



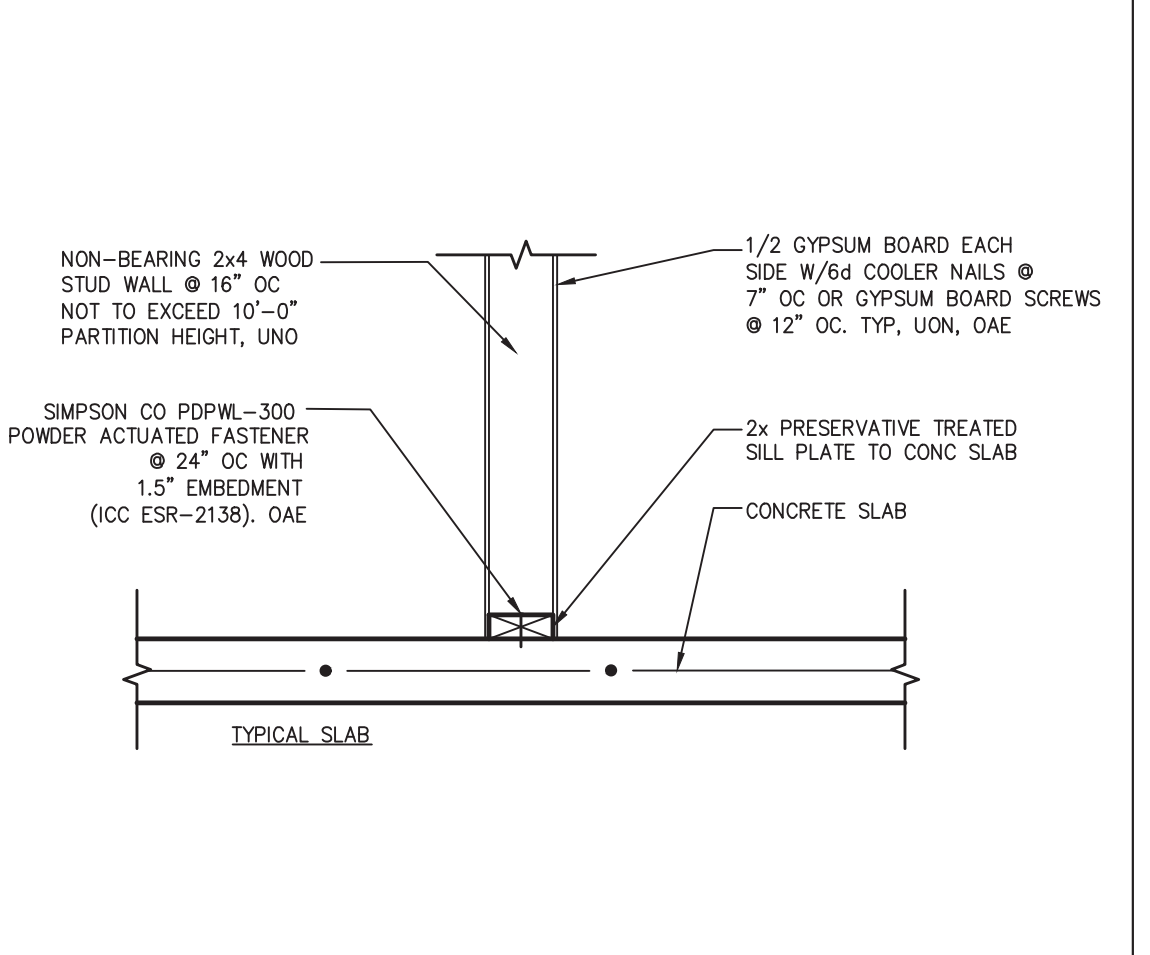
20 DRAG STRAP AT TP TO BM OR TP SCALE: 1"=1'-0"



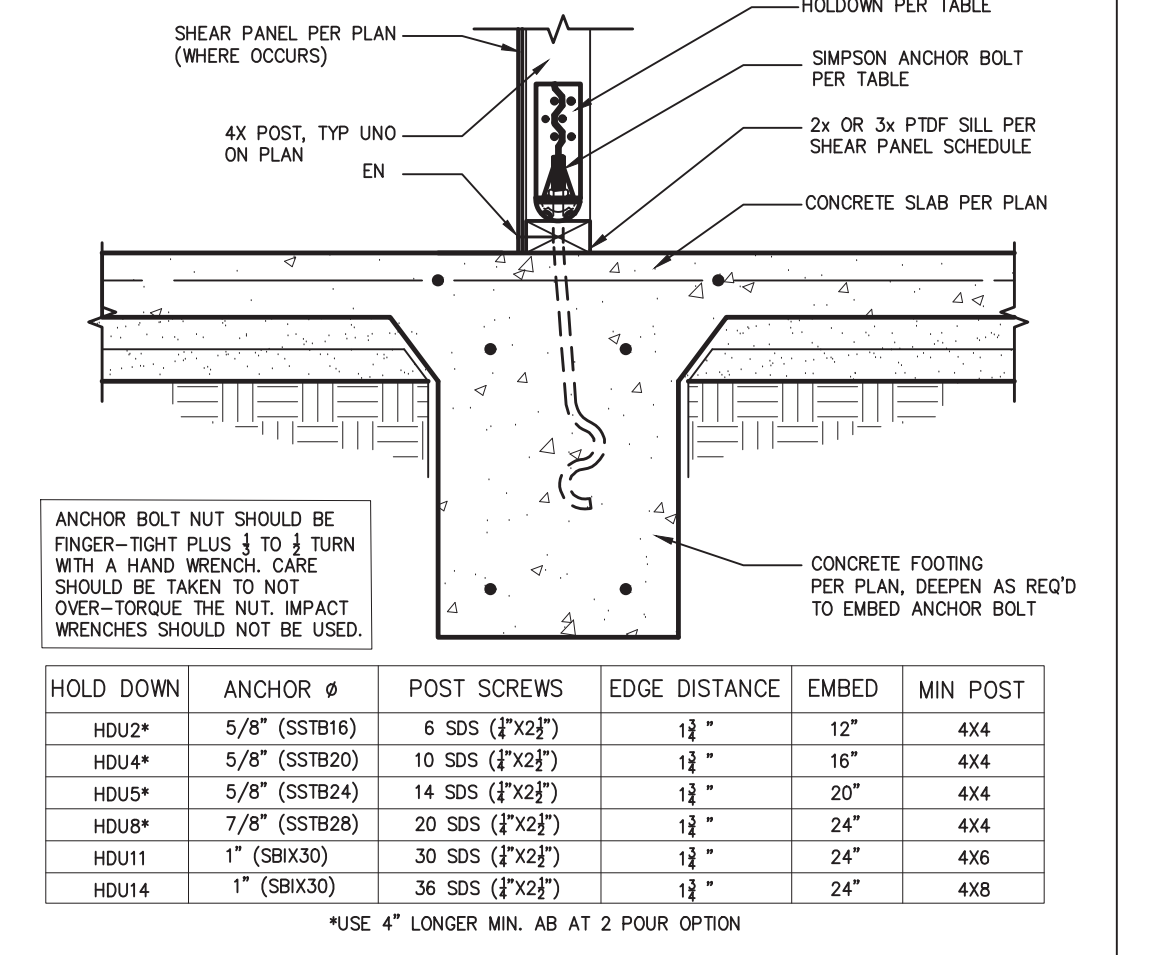
16 WOOD ROOF AND FLOOR SHEATHING LAYOUT SCALE: 1"=1'-0"



12 DOUBLE TOP-PLATE SPLICE SCALE: NTS



8 NON-BEARING INTERIOR STUD WALL TO CONCRETE SLAB SCALE: 1"=1'-0"



4 HOLDOWN - INTERIOR FOOTING SCALE: 1"=1'-0"

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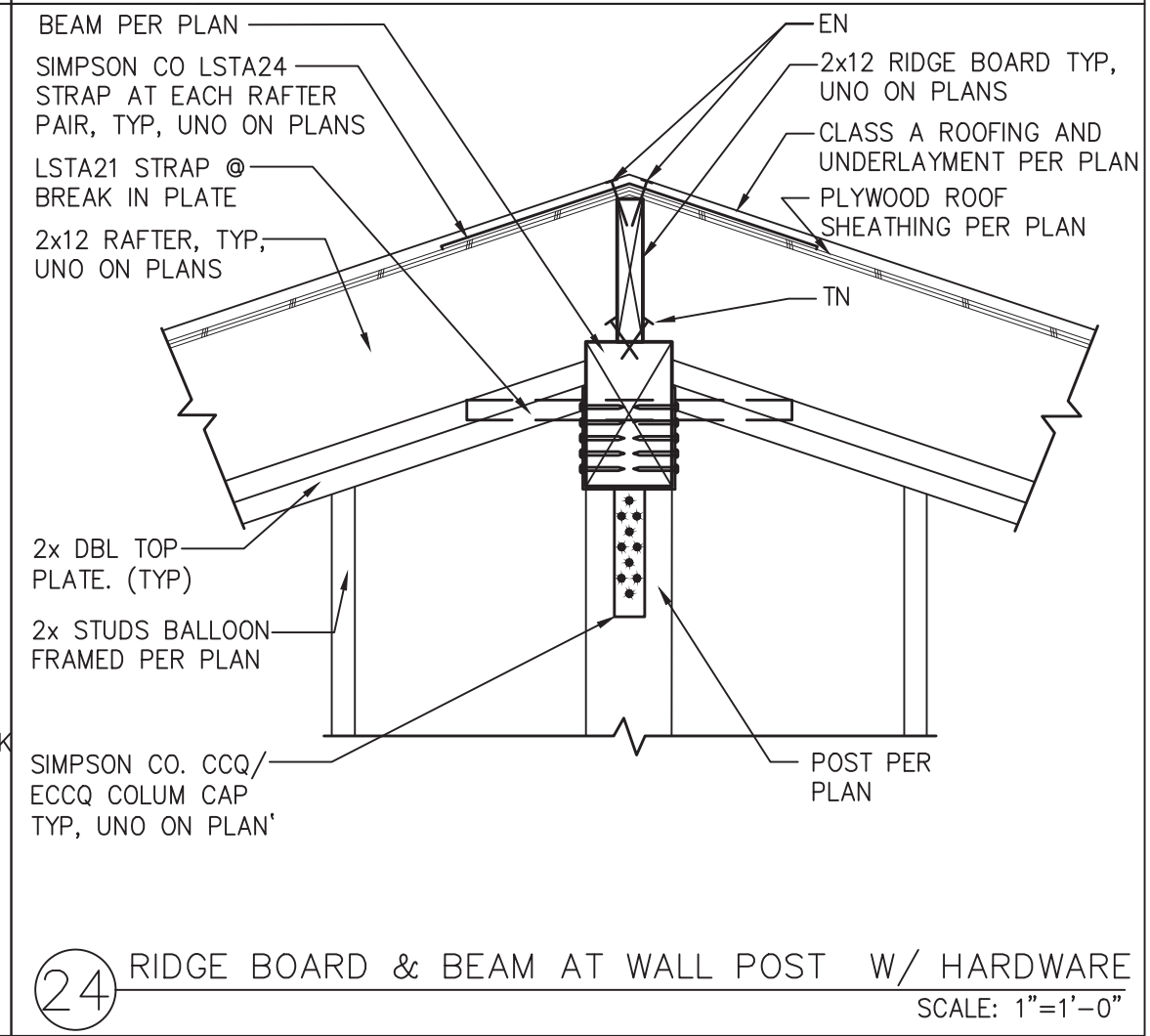
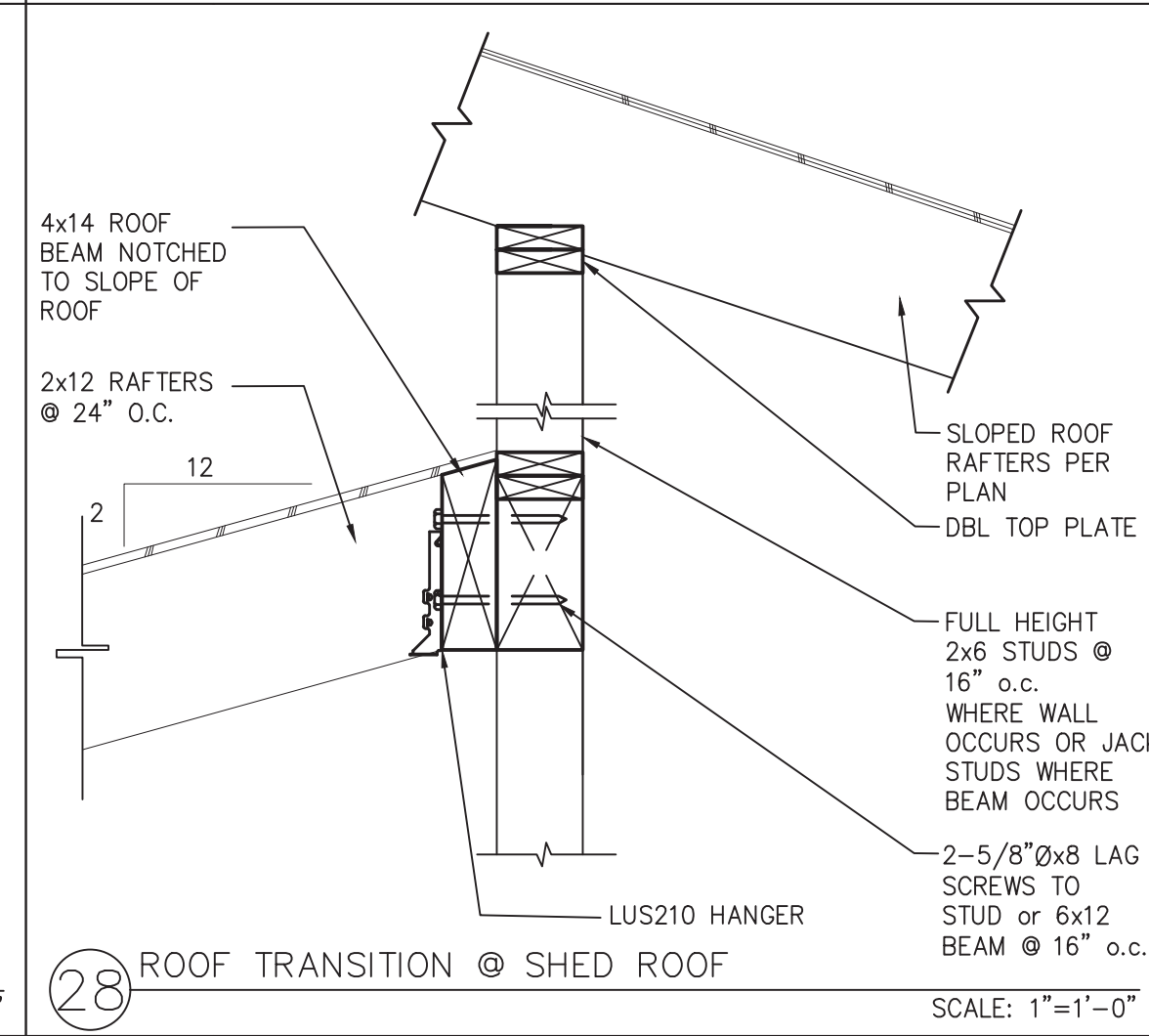
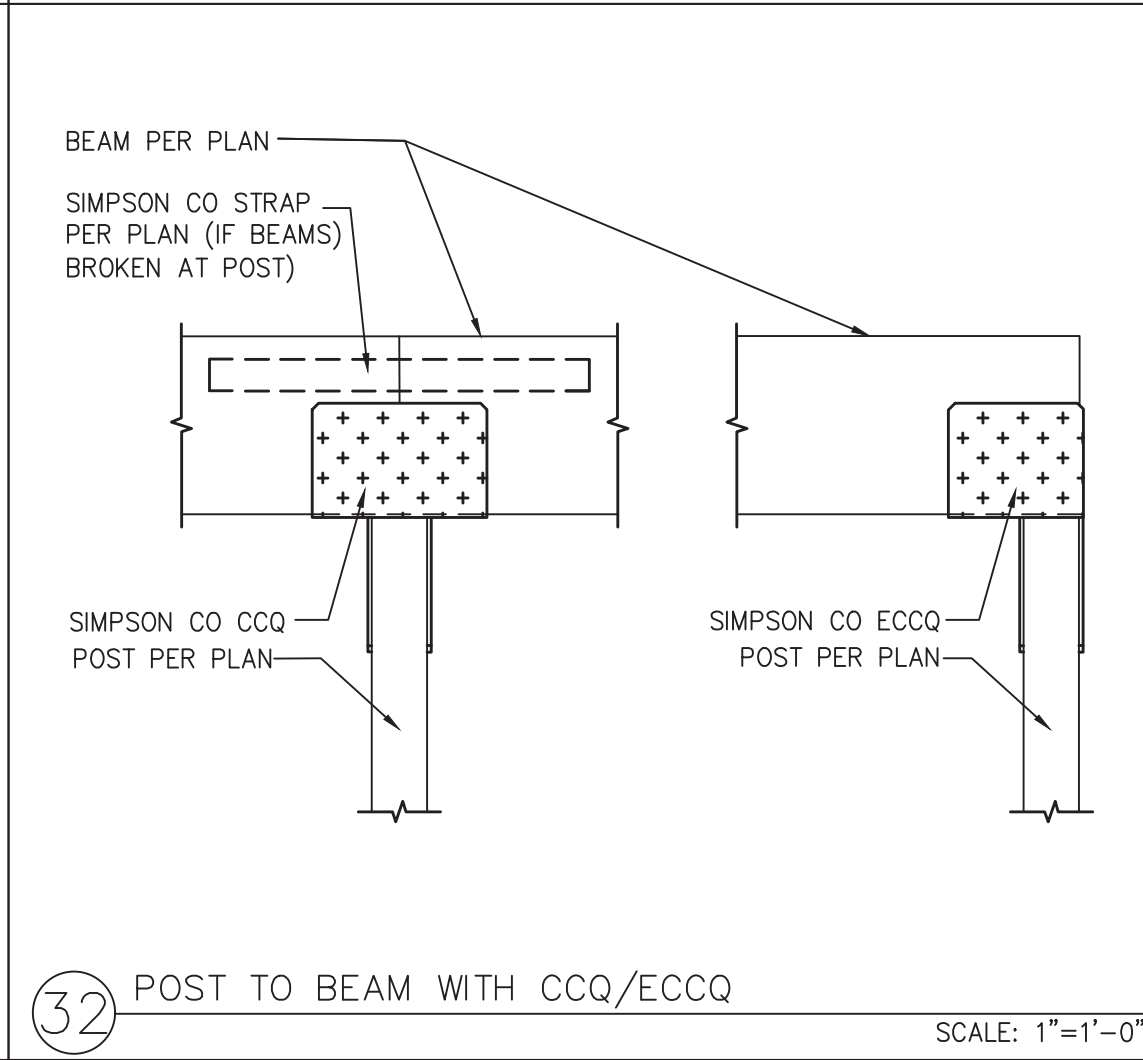
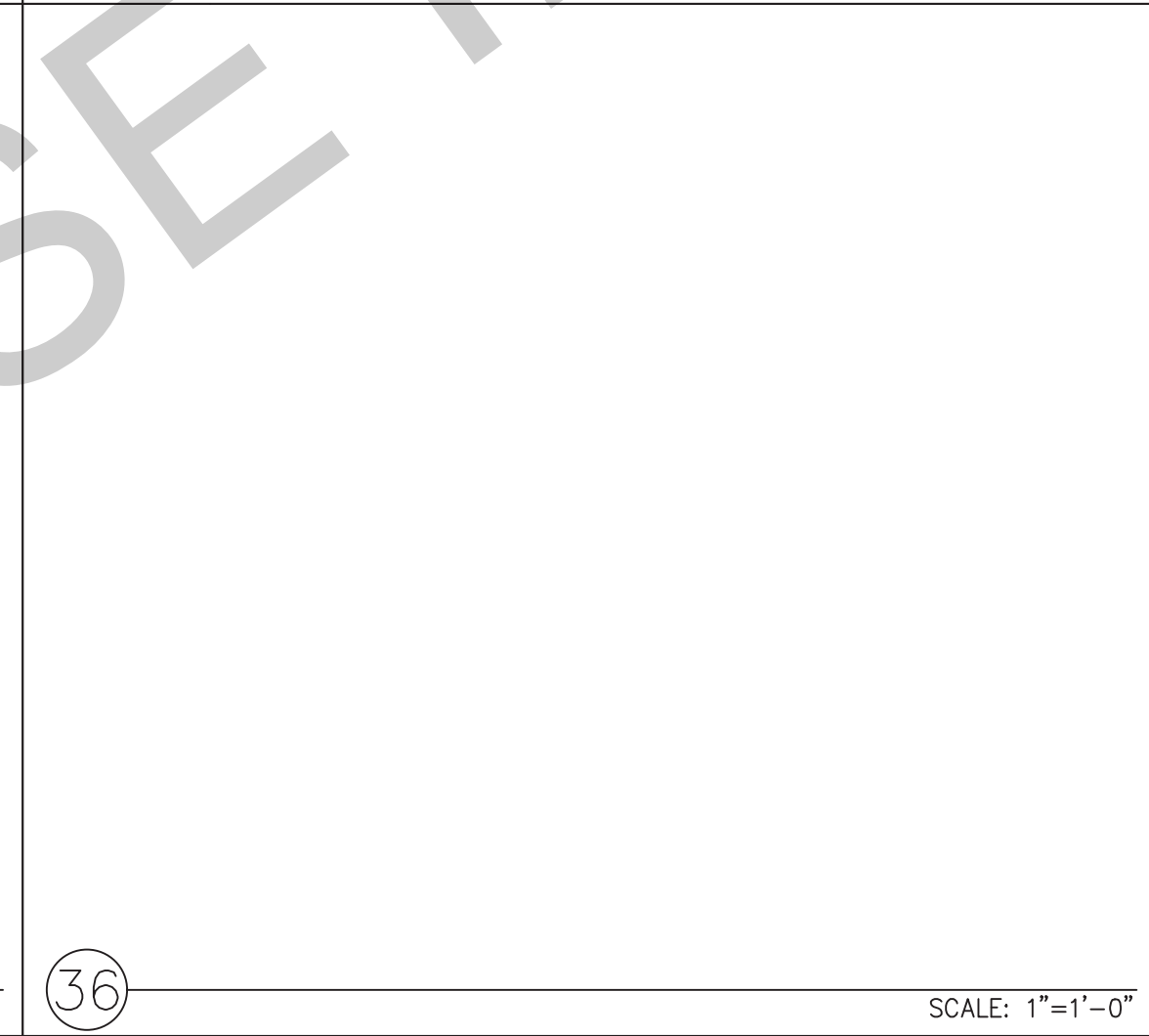
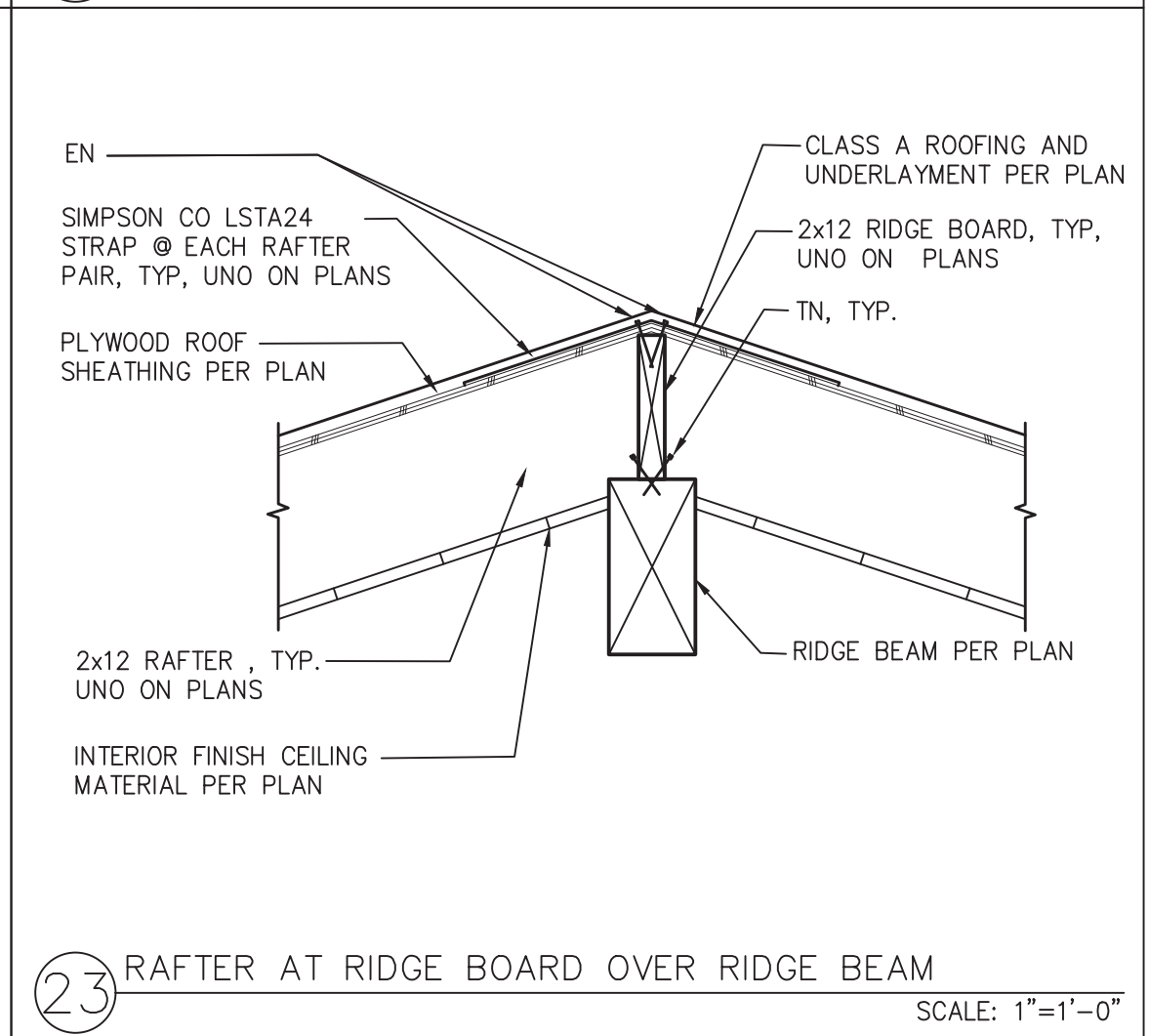
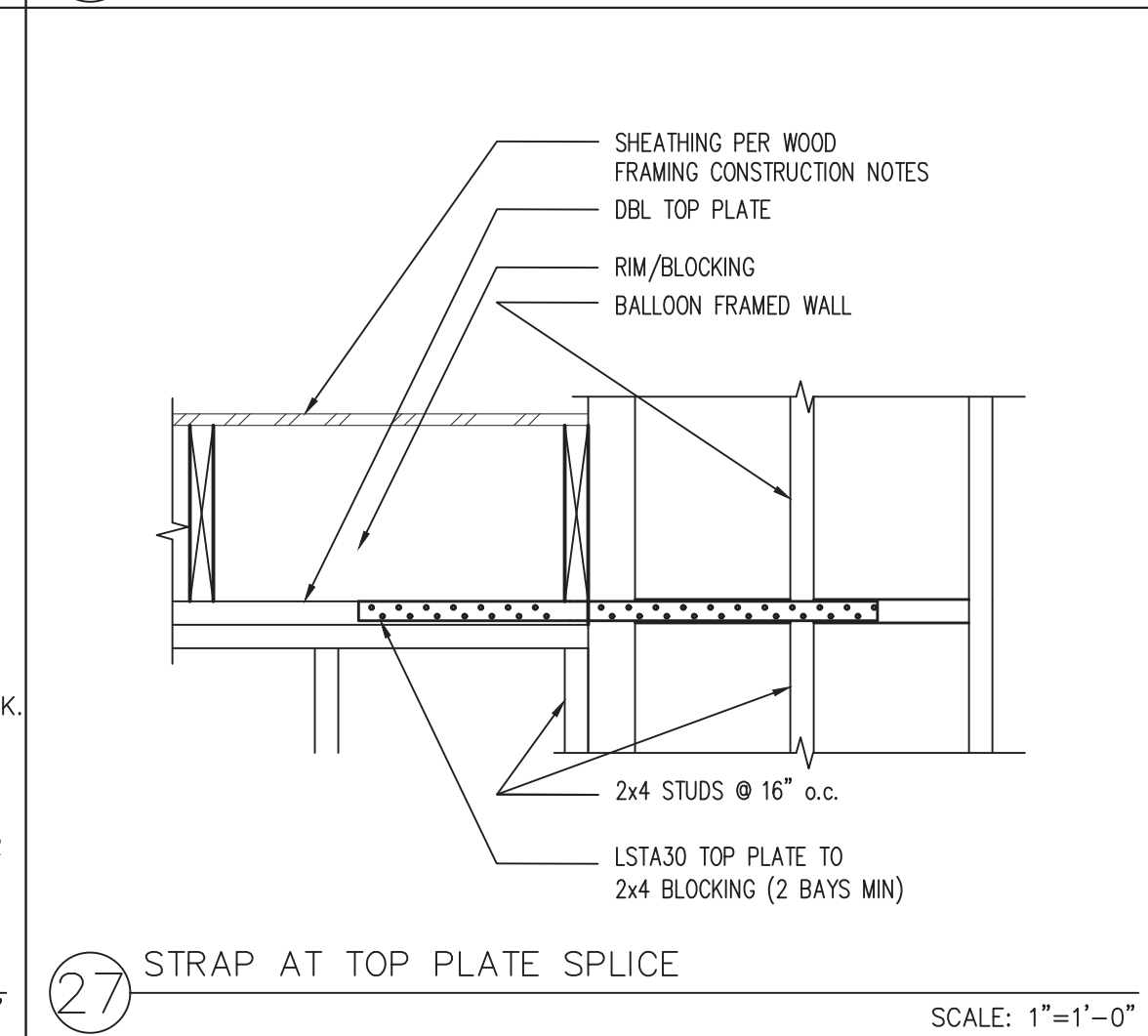
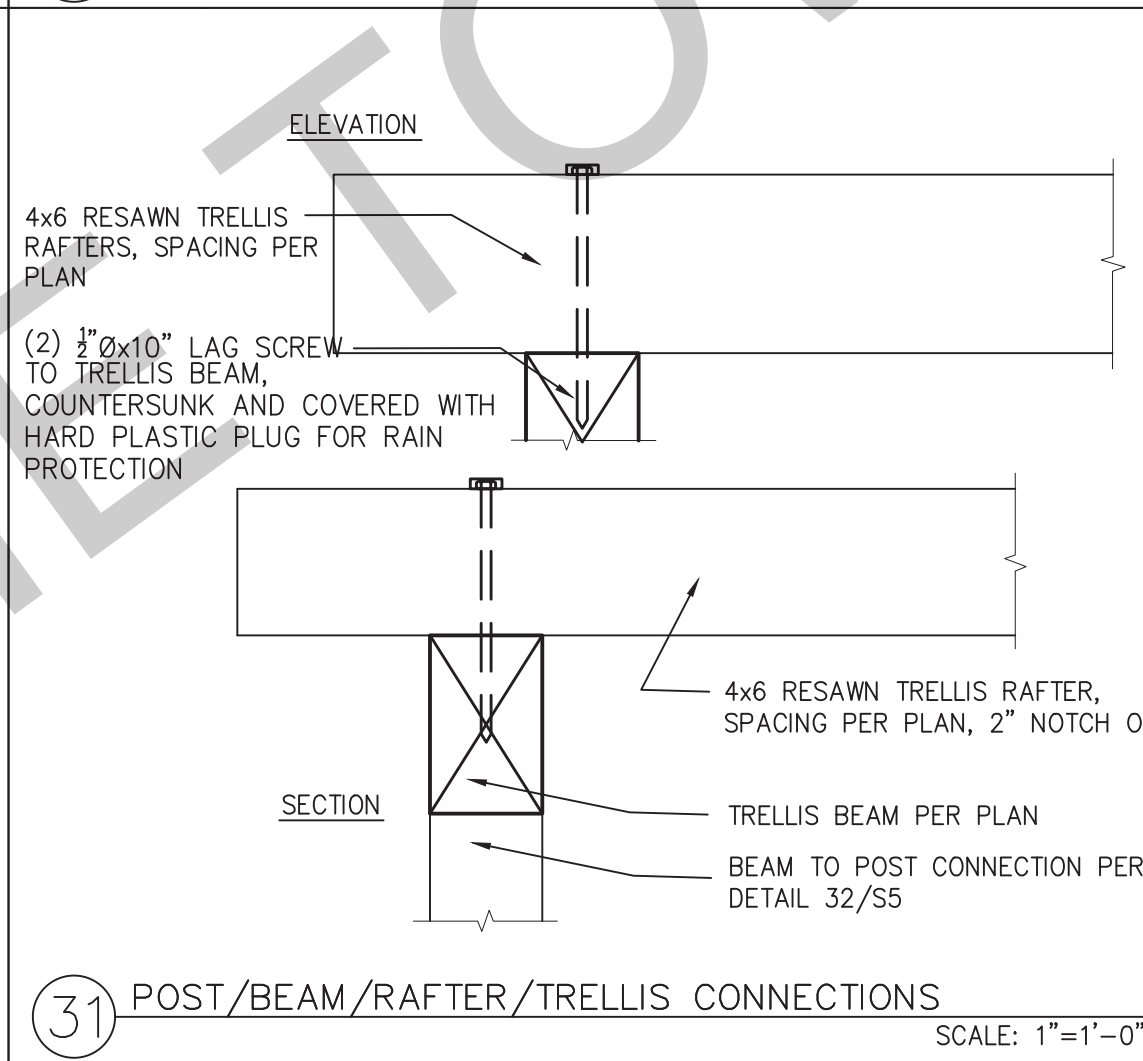
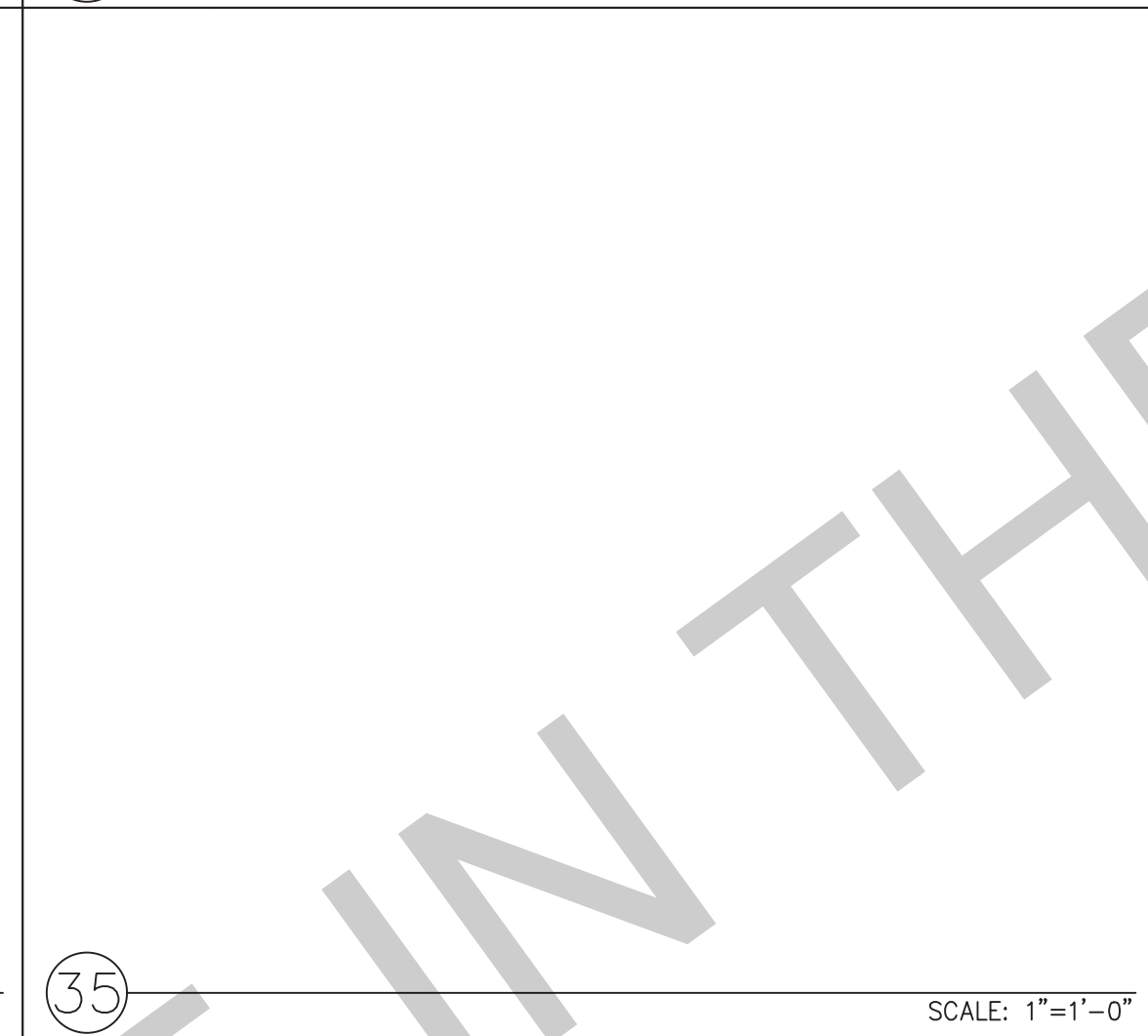
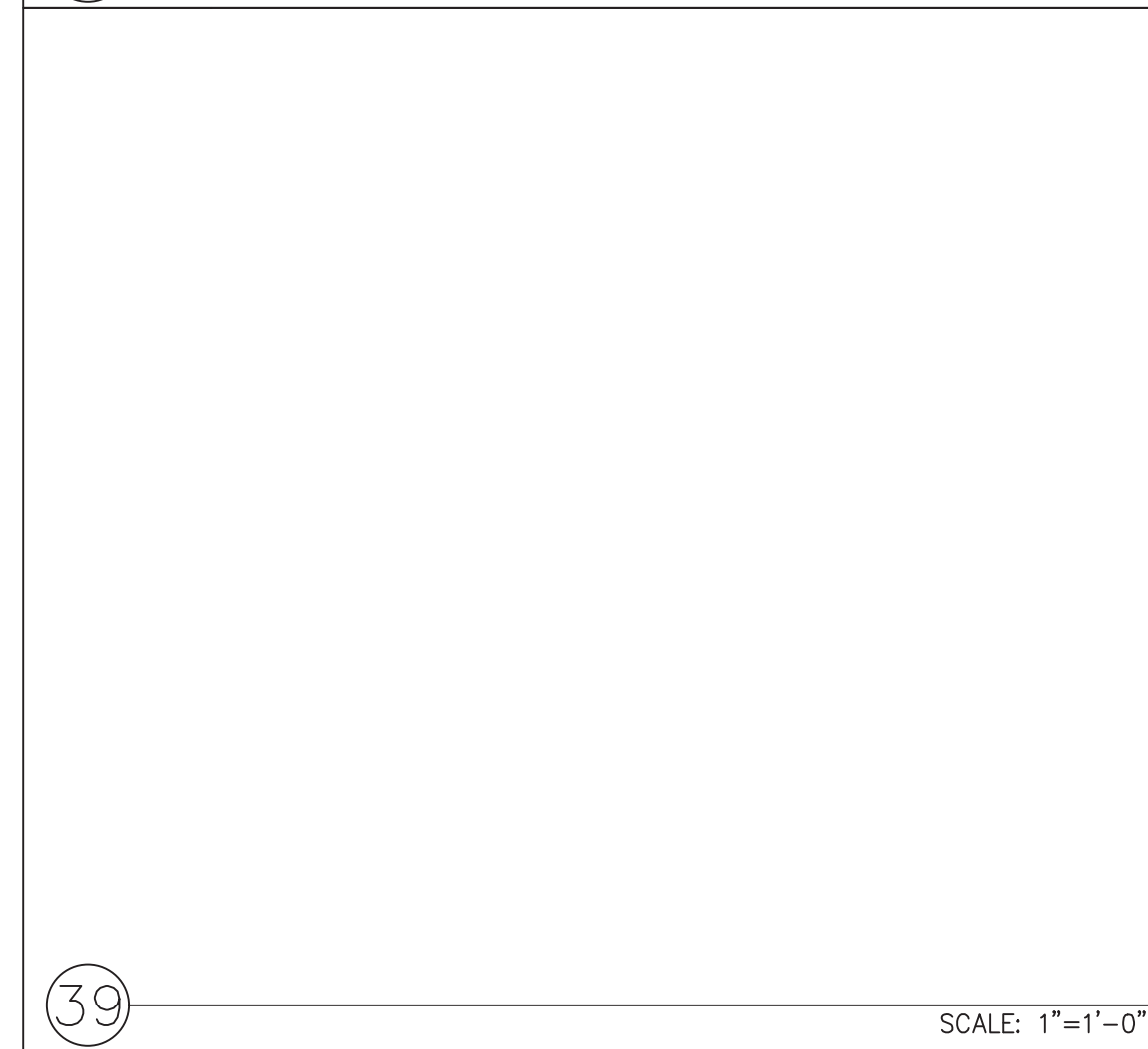
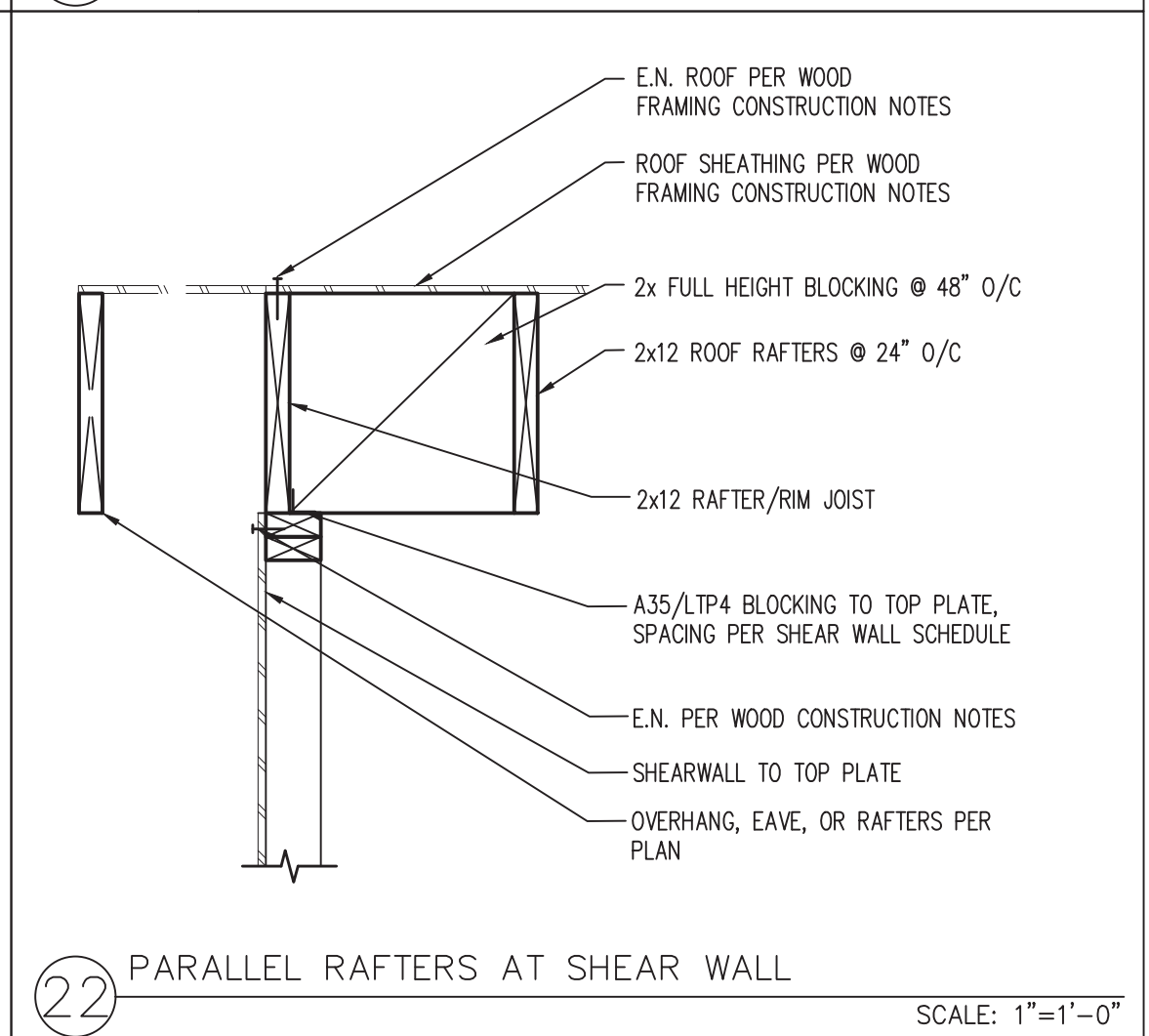
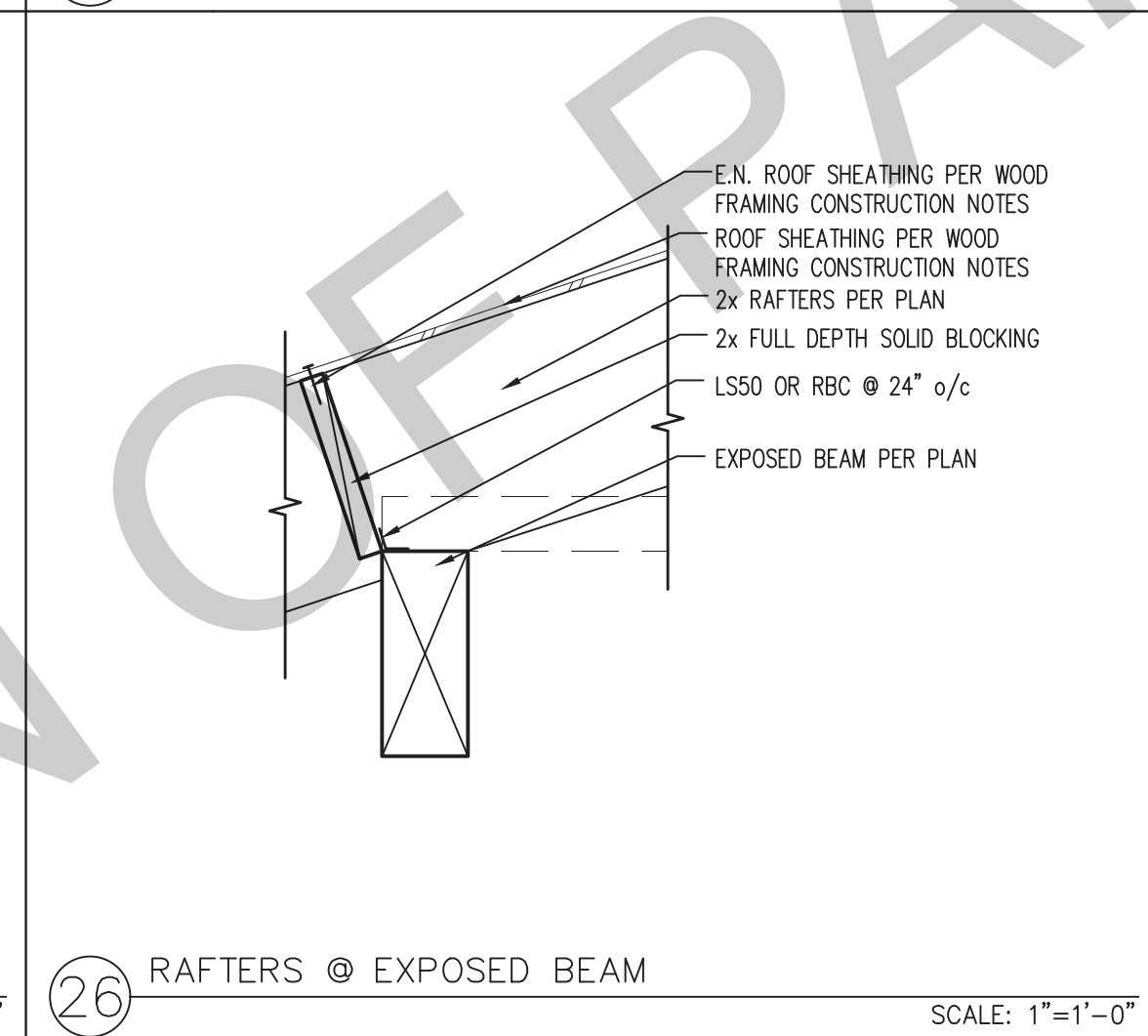
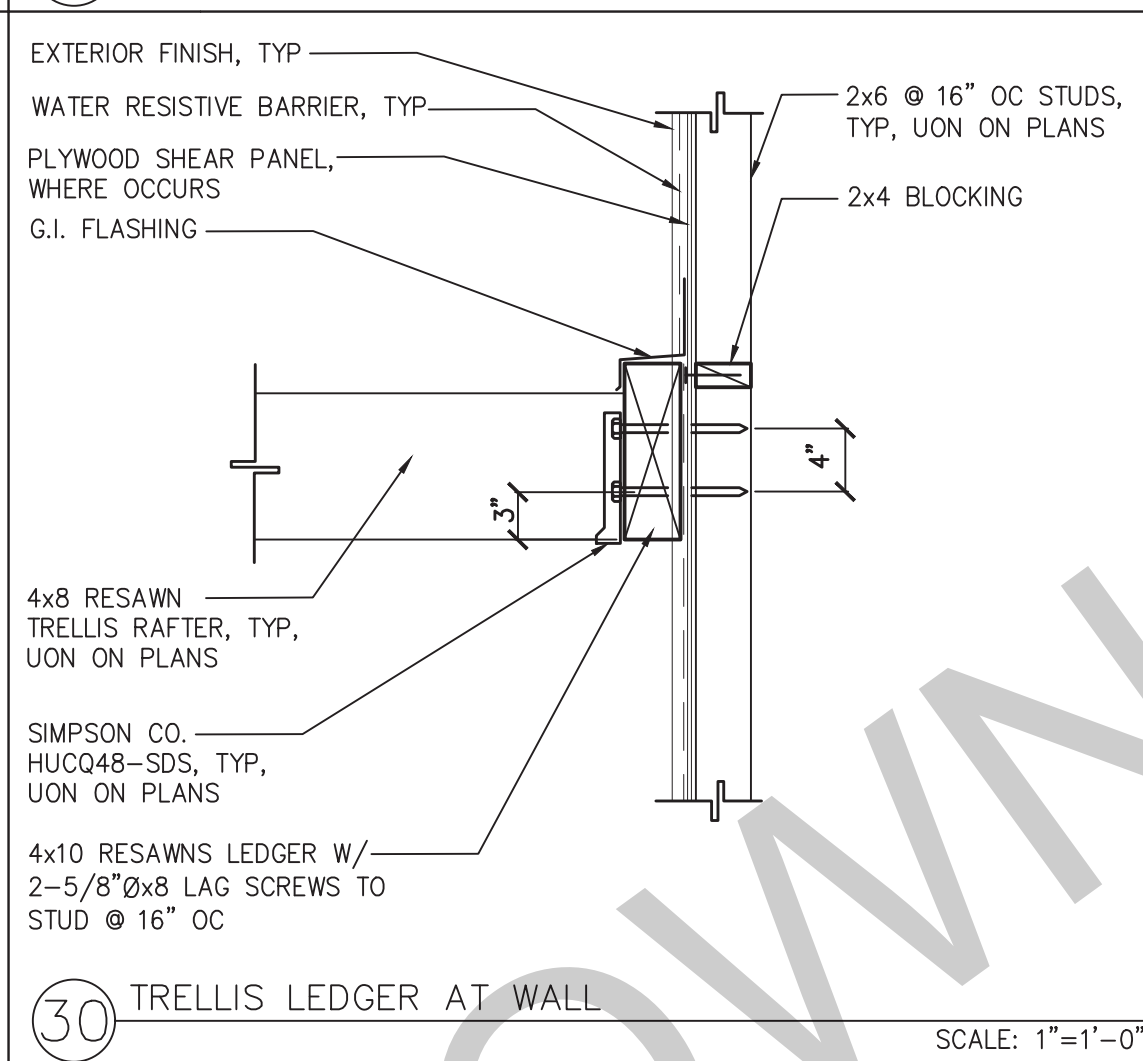
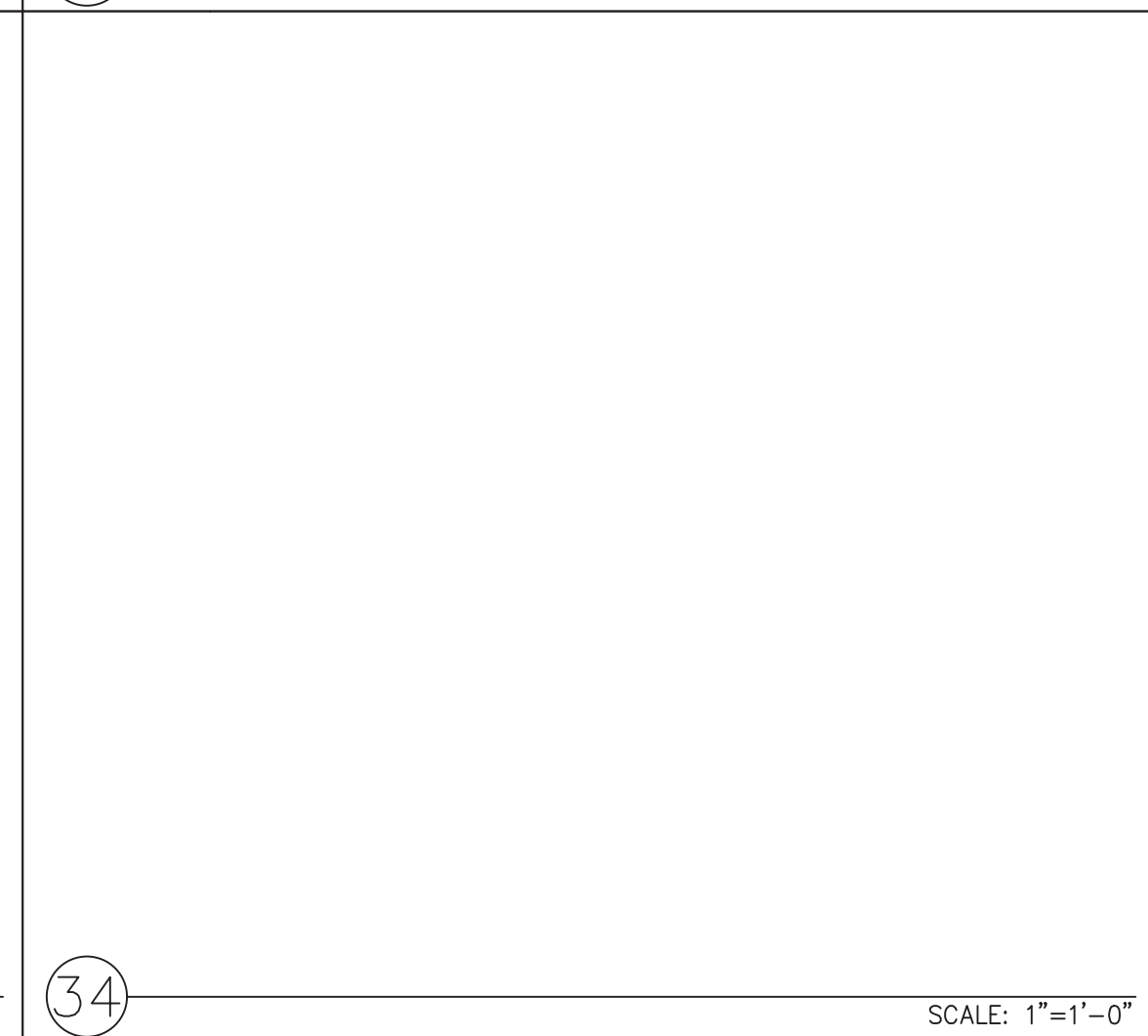
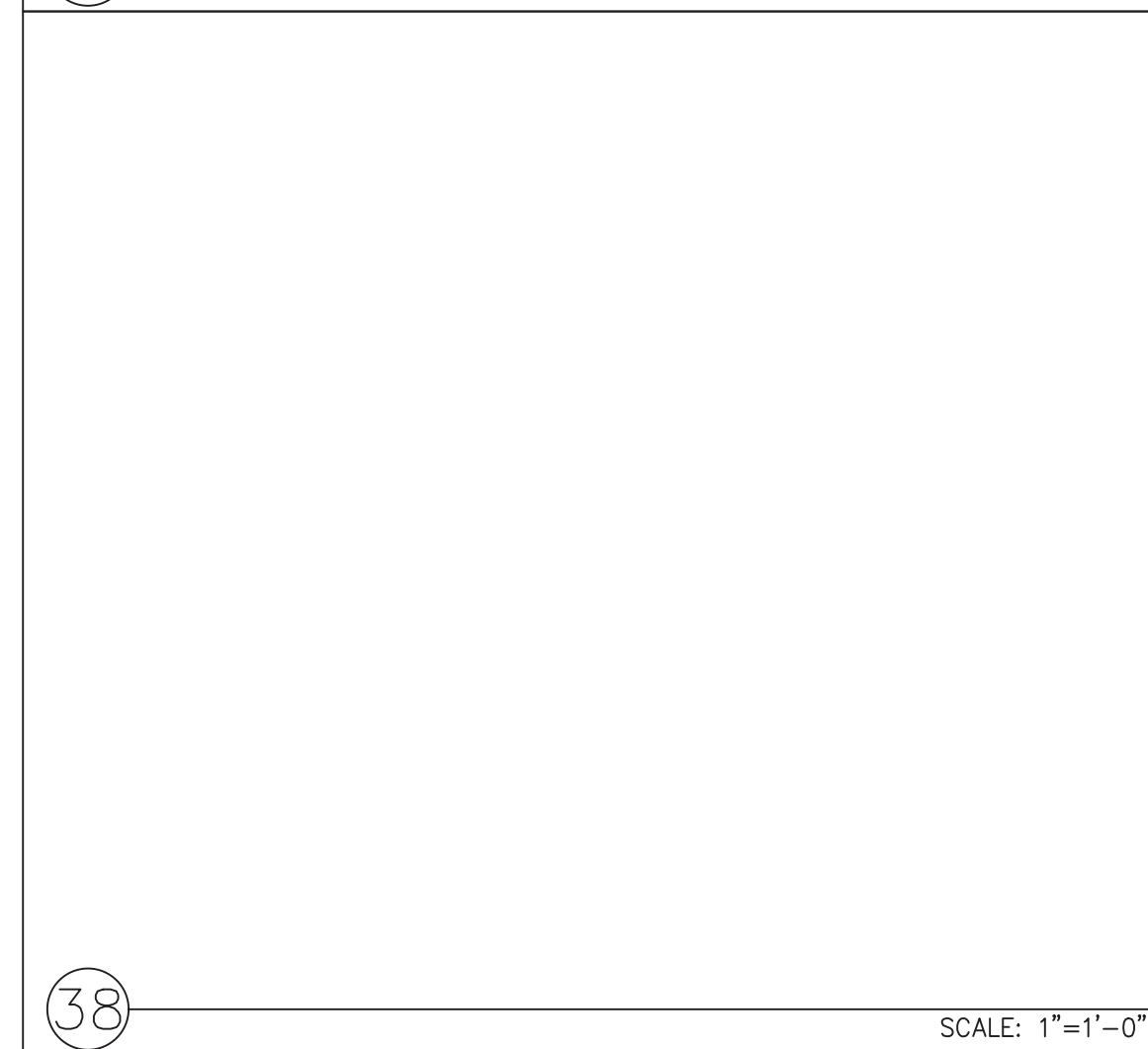
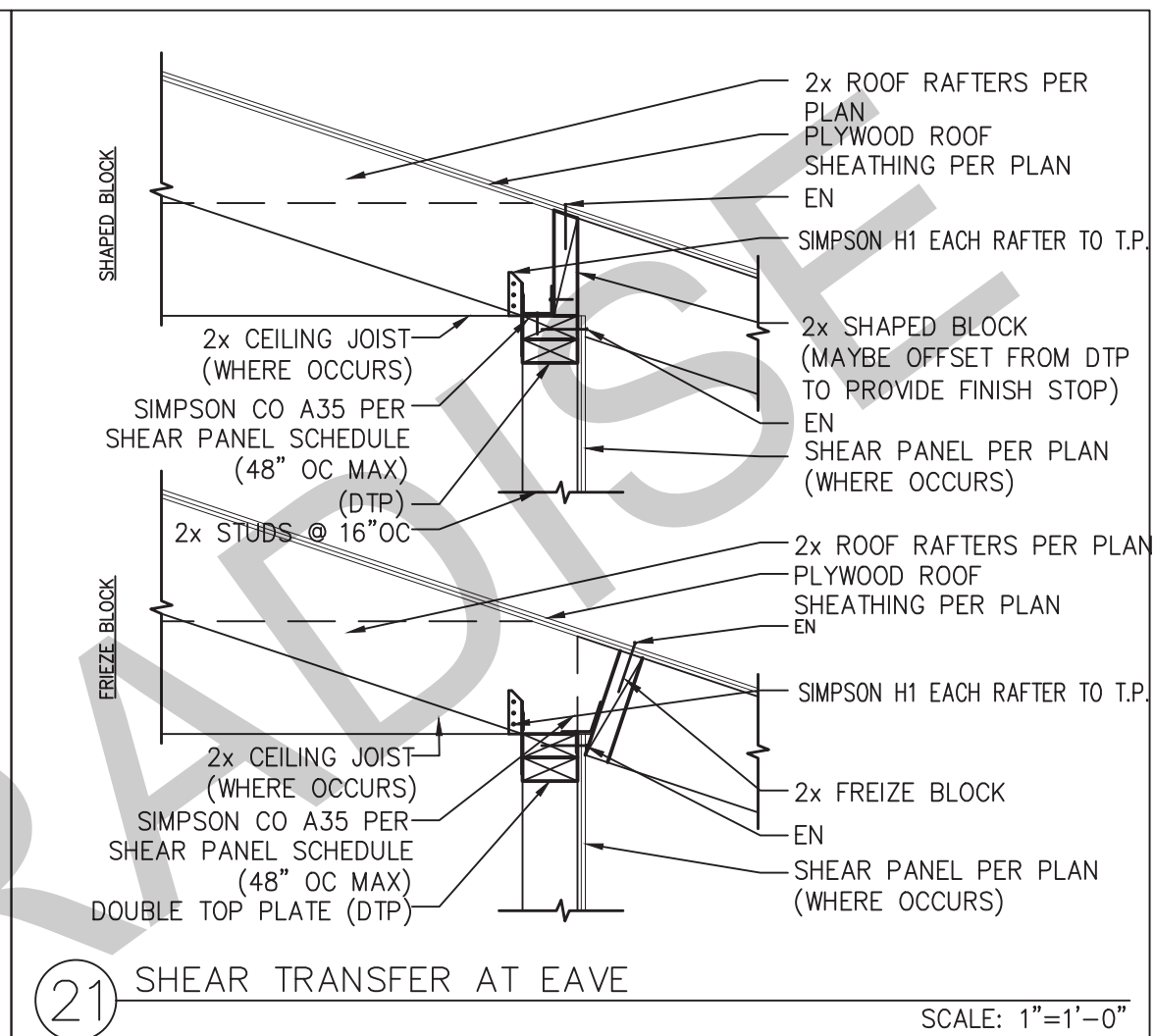
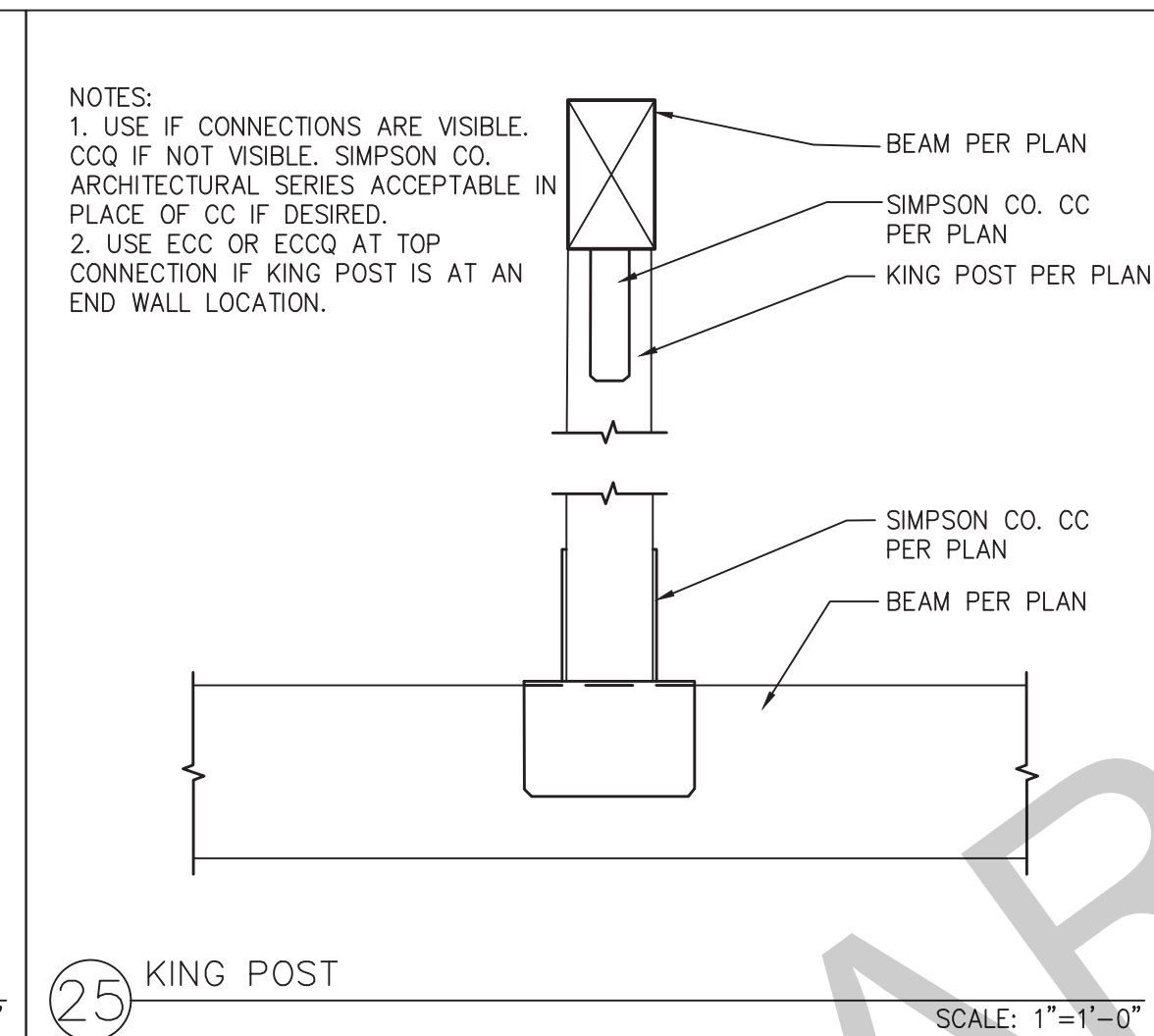
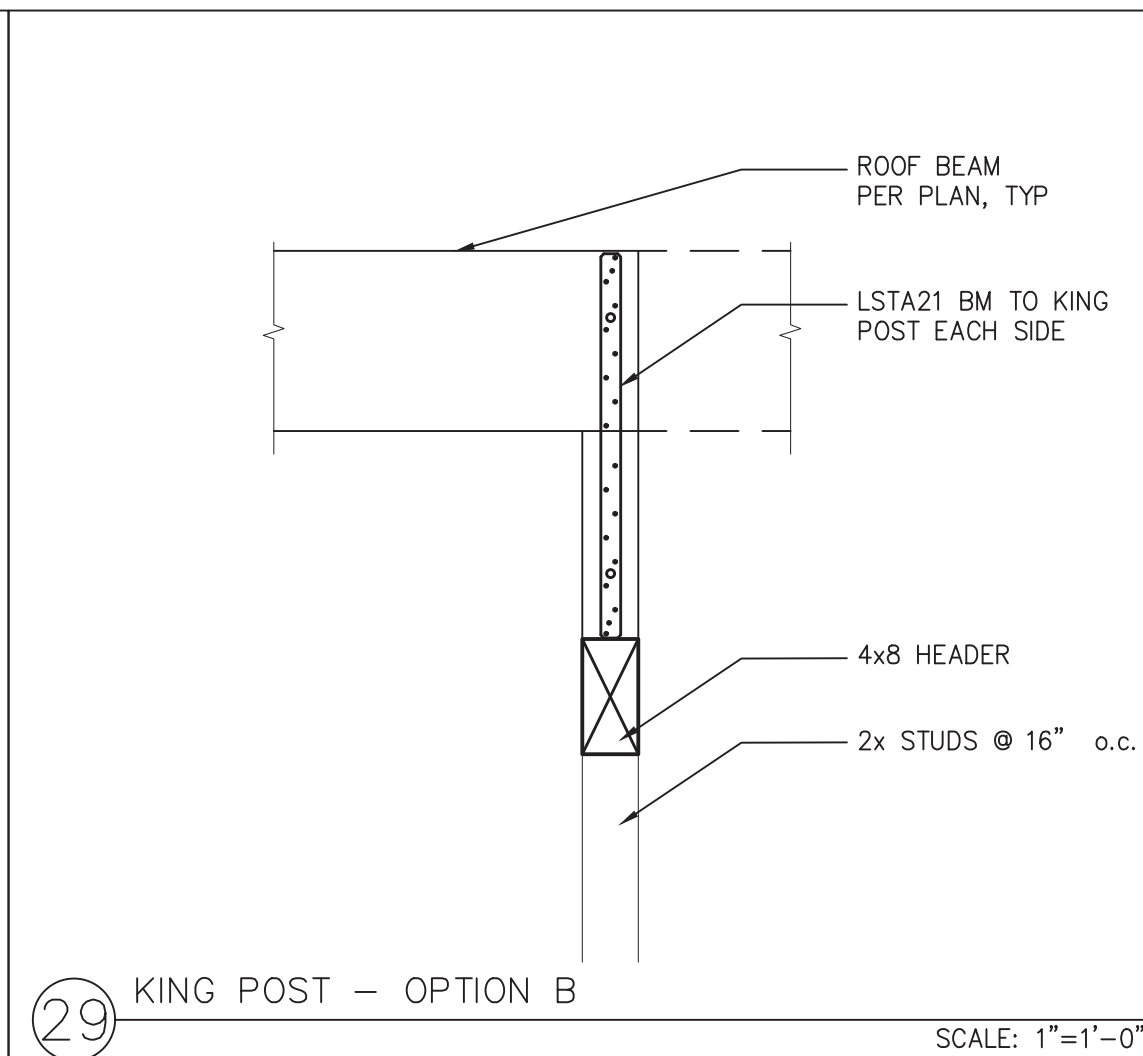
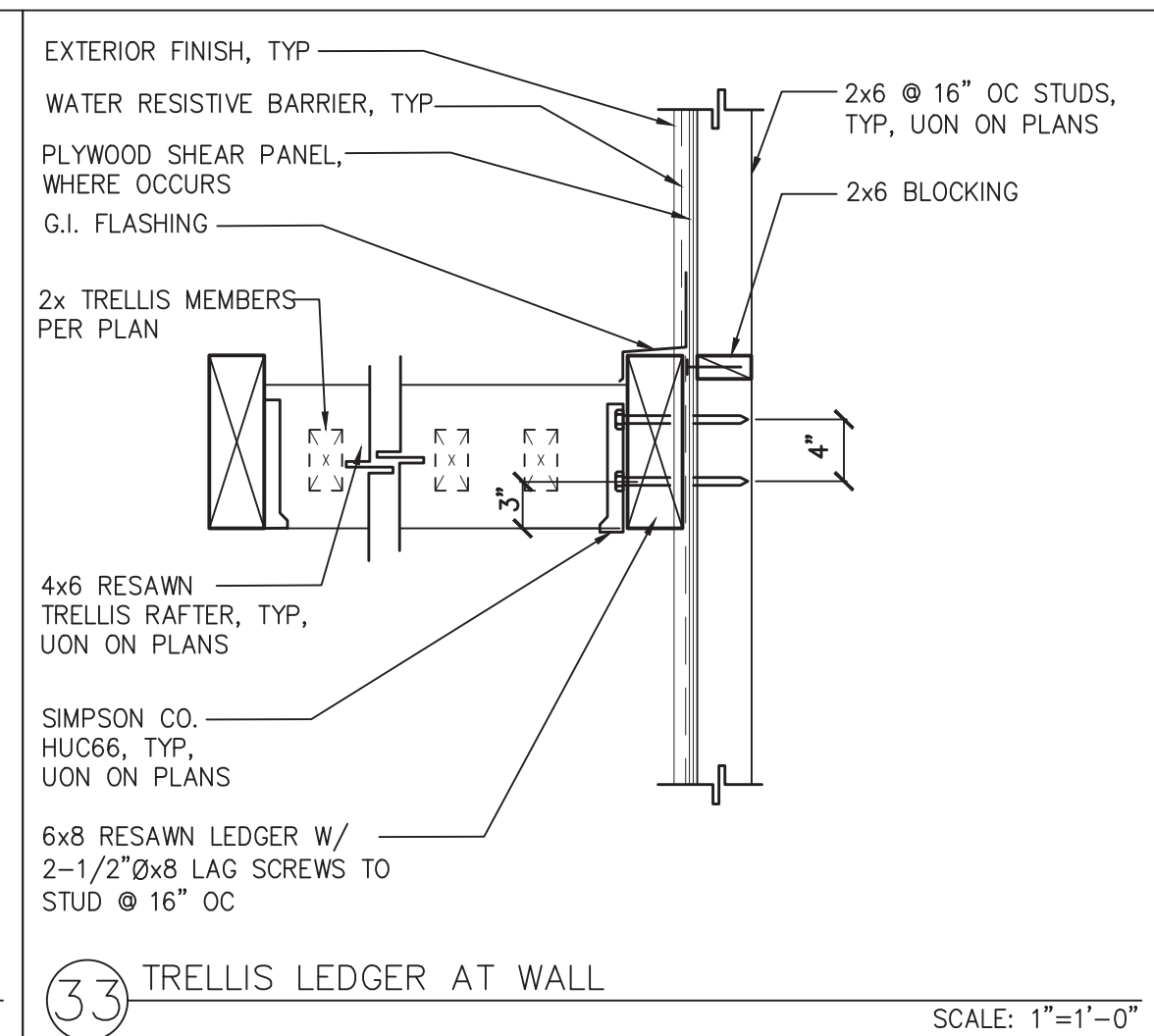
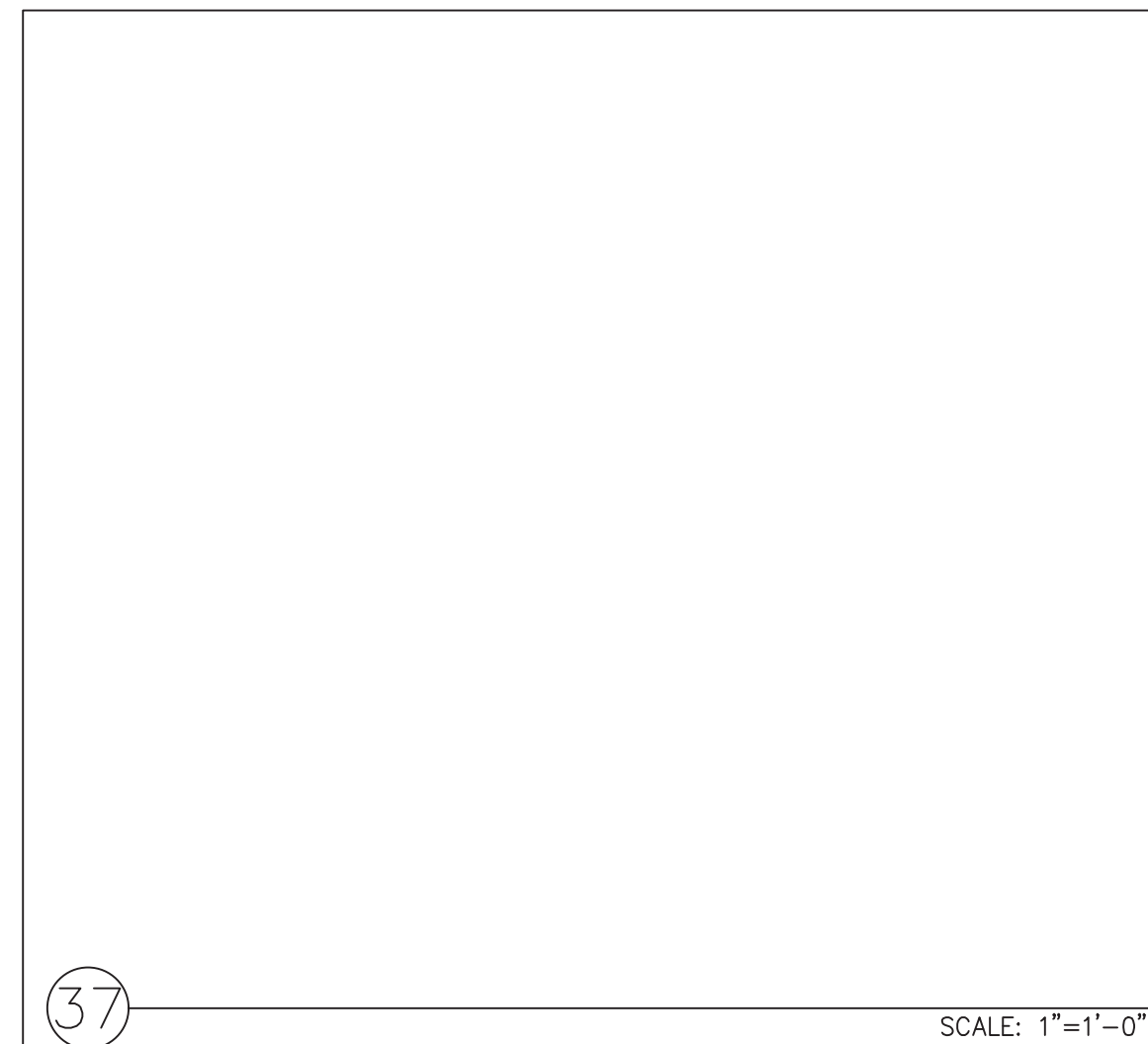
project  
**Town of Paradise Pre-Approved ADU Program**

revisions  
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description  
**Structural Details**

date ## Month 20##  
 project no. 20##\_xxxxxx  
 drawn by xxx/xxx  
 sheet no. **S3**





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project  
Town of Paradise  
Pre-Approved  
ADU Program

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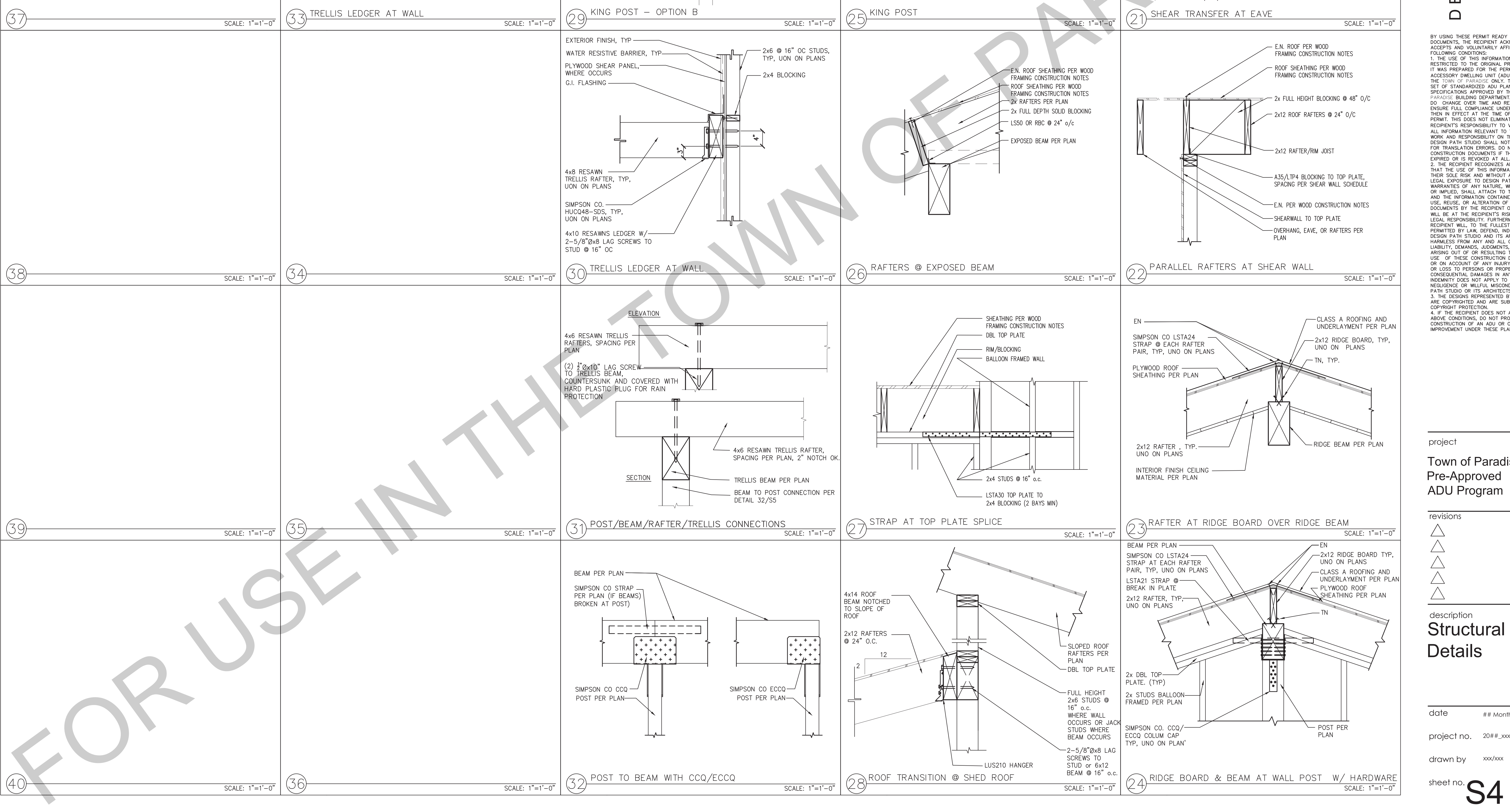
description  
Structural  
Details

date ## Month 20##

project no. 20##\_xxxxx

drawn by xxx/xxx

sheet no. S4





BUILDING ENERGY ANALYSIS REPORT	
<b>PROJECT:</b>	Pre-Approved ADU Program
	Paradise, CA
<b>Project Designer:</b>	Design Path Studio 100 Chesterfield Dr. Encinitas, CA 92007 (619) 292-8807
<b>Report Prepared by:</b>	Design Path Studio
<b>Job Number:</b>	
<b>Date:</b>	5/17/2023
<small>The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2019 Building Energy Efficiency Standards. This program developed by EnergySoft Software - www.energysoft.com.</small>	

**TITLE 24 COMPLIANCE REQUIREMENTS SUMMARY**  
**PARADISE ADU - 1 Bed A**  
**Ceiling Insulation** = R-38 min. at rafters  
**Radiant Barrier** - No  
**Roofing** - see owner - No Cool Roof Req'd  
**Wall Insulation** = R-21 at new 2 x 6 walls  
**Floor Insulation** - N/A  
**Thermal Mass Areas** = Exposed Slab Flooring  
**QIR** - Yes/No HERS rate early before drywall. Airtight insulation contractor.  
**SOLAR** - YES - 1.68 kWdc is the min PV required to meet the standard design  
**Glazing** = All new windows & doors are dual glazing. All glass is clear. Glazing shall be installed with a NFRC certifying label attached showing U-factor.  
**U-Factor** = 0.30 windows, doors.  
**Solar Heat Gain Co-efficient** = 0.23 windows, doors.  
**Owner** to purchase windows & doors w/ specified U-values & SHGC's or better.  
**Hot Water Heater** = 40-gal heat pump R-HEM PROPH072RH37S30 or eq. Uniform Energy Factor is 3.1 min. NEEB-Raised. HERS VERIFIED.  
**IAQ FAN** - 30 cfm & 0.35 cfm power. Verify w/ Mech. (continuous ventilation per ASHRAE 62.2 is req'd for IAQ) HERS VERIFIED. Note IAQ fan on plan w/ timer switch w/ manual off & sound rating of 1 sone.  
**HSPF** - 10 min. (New mid-split)  
**SEER** - 16.0 min. (new) HERS REQUIRED.  
**REFRIGERANT CHARGE**: AIRFLOW IN HABITABLE ROOMS (SC3.1.4.1.1), VERIFIED HEAT PUMP RATED HEATING CAPACITY, WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150 S.F. (SC3.4.5) AND DUCTLESS INDOOR UNITS ARE LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.5).  
**Duct Insulation** = none  
**Duct (HERS) % Leakage Test** - NO  
**Water Saving**  
 Total Sanitary Heating Load - 10,746 Btu  
 Min-Split Heat Pump or eq - 24,000 Btu  
**A/C Sizing**  
 Total Sanitary cooling load - 11,268 Btu - 1 ton  
**WHOLE HOUSE ATTIC COOLING FAN** - NFR for compliance  
 \*These load calculations, sizing & equipment are for Title 24 purposes & should be verified HVAC by a Mechanical Engineer/Contractor.  
 Owner may install any Make & Model HVAC equipment that is equal or greater than the min. efficiencies listed above. All equipment is listed "for eq" ALL LIGHTING TO BE HIGH EFFICACY - SEE MFR FOR SWITCHING & NOTES. LOCAL EXHAUST FAN RATES BATH = 50 CFM, KITCHEN = 100 CFM, < 3 zones & listed on CEC directory. HERS VERIFIED.  
**SONE RATING** = 1 FOR CONTINUOUS FAN AND 3 FOR INTERMITTENT FAN.

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**  
 Project Name: Residential Building  
 Calculation Date/Time: 2023-05-01T15:05:44-07:00  
 Calculation Description: Title 24 Analysis  
 Input File Name: 1BedA.rbd22x  
 CFCR-PRF-01E (Page 1 of 13)

GENERAL INFORMATION	
01	Project Name: Residential Building
02	Run Title: Title 24 Analysis
03	Project Location:
04	City: Paradise
05	Standards Version: 2022
06	Zip code: 92007
07	Software Version: EnergyPro 9.1
08	Climate Zone: 11
09	Front Orientation (deg/ Cardinal): All orientations
10	Building Type: Single family
11	Number of Dwelling Units: 1
12	Project Scope: Newly Constructed
13	Number of Bedrooms: 1
14	Addition Cond. Floor Area (ft²): 0
15	Number of Stories: 1
16	Existing Cond. Floor Area (ft²): n/a
17	Fenestration Average U-factor: 0.3
18	Total Cond. Floor Area (ft²): 599
19	Glazing Percentage (%): 35.40%
20	ADU Bedroom Count: n/a

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 223-PO100303968-000-000-0000000-0000  
 Registration Date/Time: 2023-05-17 09:34:24  
 CA Building Energy Efficiency Standards - 2022 Residential Compliance  
 Report Version: 2022.0.000  
 Schema Version: rev 20220901  
 HERS Provider: CaCERTS, Inc.  
 Report Generated: 2023-05-01 15:06:31

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 CFCR-PRF-01E (Page 2 of 13)

ENERGY DESIGN RATINGS	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency <sup>2</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)	Source Energy (EDR1)	Efficiency <sup>2</sup> EDR (EDR2efficiency)	Total <sup>2</sup> EDR (EDR2total)
Standard Design	43.7	42.4	55			
Proposed Design						
North Facing	39.1	38.7	52.8	4.6	3.7	2.2
East Facing	38.5	36.7	51.6	5.2	5.7	3.4
South Facing	38.5	38.4	52.6	5.2	4	2.4
West Facing	39.1	40	53.6	4.6	2.4	1.4
RESULT: PASS						
<small><sup>1</sup>Efficiency EDR includes improvements like a better building envelope and more efficient equipment.  <sup>2</sup>Total EDR includes efficiency and demand response measures such as pre-cool/heating (PV) system and batteries.                      *Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded.                      • Standard Design PV Capacity: 0.00 kWdc                      • Proposed PV Capacity Scaling: North (0.00 kWdc) East (0.00 kWdc) South (0.00 kWdc) West (0.00 kWdc)</small>						

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 CFCR-PRF-01E (Page 3 of 13)

ENERGY USE SUMMARY							
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kWh/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kWh/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)	
Space Heating	4.52	19.93	3.37	25.03	1.15	-5.1	
Space Cooling	2.73	59.6	2.52	58.45	0.21	1.15	
IAQ Ventilation	0.46	4.92	0.46	4.92	0	0	
Water Heating	4.73	46.84	2.9	31.65	1.83	15.19	
Self Utilization/Flexibility Credit				0		0	
North Facing Efficiency Compliance Total	12.44	131.29	9.25	120.05	3.19	11.24	
Space Heating	4.52	19.93	3.07	22.87	1.45	-2.54	
Space Cooling	2.73	59.6	2.36	54.71	0.37	4.89	
IAQ Ventilation	0.46	4.92	0.46	4.92	0	0	
Water Heating	4.73	46.84	2.89	31.62	1.84	15.22	
Self Utilization/Flexibility Credit				0		0	
East Facing Efficiency Compliance Total	12.44	131.29	8.78	113.72	3.66	17.57	

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 CFCR-PRF-01E (Page 4 of 13)

ENERGY USE SUMMARY							
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft²-yr)	Standard Design TDV Energy (EDR2) (kWh/ft²-yr)	Proposed Design Source Energy (EDR1) (kBtu/ft²-yr)	Proposed Design TDV Energy (EDR2) (kWh/ft²-yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)	
Space Heating	4.52	19.93	2.78	20.38	1.74	-0.45	
Space Cooling	2.73	59.6	2.67	62	0.06	-2.4	
IAQ Ventilation	0.46	4.92	0.46	4.92	0	0	
Water Heating	4.73	46.84	2.89	31.57	1.84	15.27	
Self Utilization/Flexibility Credit				0		0	
South Facing Efficiency Compliance Total	12.44	131.29	8.8	118.87	3.64	12.42	
Space Heating	4.52	19.93	3.04	22.59	1.48	-2.66	
Space Cooling	2.73	59.6	2.8	64.89	-0.07	-5.29	
IAQ Ventilation	0.46	4.92	0.46	4.92	0	0	
Water Heating	4.73	46.84	2.89	31.61	1.84	15.23	
Self Utilization/Flexibility Credit				0		0	
West Facing Efficiency Compliance Total	12.44	131.29	9.19	124.01	3.25	7.28	

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft²-yr)	Proposed Design (kBtu/ft²-yr)	Compliance Margin (kBtu/ft²-yr)	Margin Percentage
North Facing				
Gross EU1 <sup>1</sup>	38.82	34.44	4.38	11.28
Net EU2 <sup>2</sup>	38.82	34.44	4.38	11.28
East Facing				
Gross EU1 <sup>1</sup>	38.82	34.09	4.73	12.18
Net EU2 <sup>2</sup>	38.82	34.09	4.73	12.18
South Facing				
Gross EU1 <sup>1</sup>	38.82	34.2	4.62	11.9
Net EU2 <sup>2</sup>	38.82	34.2	4.62	11.9
West Facing				
Gross EU1 <sup>1</sup>	38.82	34.42	4.4	11.33
Net EU2 <sup>2</sup>	38.82	34.42	4.4	11.33
Notes: 1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area. 2. Net EU2 is Energy Use Total (including PV) / Total Building Area.				

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 CFCR-PRF-01E (Page 6 of 13)

REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt (deg)	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
0		Standard (14-17%)	Fixed	none	true	n/a	n/a	n/a	n/a	n/a	n/a

REQUIRED SPECIAL FEATURES											
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.											
• PV exception 2: No PV required when minimum PV size (Section 150.1(c)(14)) < 1.8 kWdc (0 kW) • Window overhangs and/or fins • Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3) • Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed											

HERS FEATURE SUMMARY											
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CFCRs and CFCRs are required to be completed in the HERS Registry.											
• Quality insulation installation (QII) • Indoor air quality ventilation • Kitchen range hood • Verified EER/EER2 • Verified SEER/EER2 • Verified Refrigerant Charge • Airflow in habitable rooms (SC3.1.4.1.7) • Verified HSPF • Verified heat pump rated heating capacity • Wall-mounted thermostat in zones greater than 150 ft² (SC3.4.5) • Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)											

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	499	1	1	1	0	1

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 CFCR-PRF-01E (Page 7 of 13)

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
1Bedroom - A	Conditioned	HVAC System1	499	8	DHW Sys 1	New

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	Tilt (deg)
Front Wall	1Bedroom - A	R-21 Wall	0	Front	192	82.5225	90
Left Wall	1Bedroom - A	R-21 Wall	90	Left	216	52.02	90
Rear Wall	1Bedroom - A	R-21 Wall	180	Back	192	5	90
Right Wall	1Bedroom - A	R-21 Wall	270	Right	216	36	90

OPAQUE SURFACES - CATHEDRAL CEILINGS										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (ft in 12)	Roof Reflectance	Roof Emissance	Cool Roof
Roof	1Bedroom - A	R-38 Roof No Attic	0	Front	499	0	4	0.1	0.85	No

FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window A	Window	Front Wall	Front	0	6	4	1	24	0.3	NFRC	0.23	NFRC	Bug Screen
Window E	Window	Front Wall	Front	0	9	1.5	1	13.5	0.3	NFRC	0.23	NFRC	Bug Screen
Window F	Window	Front Wall	Front	0	6	3	0	12.01	0.3	NFRC	0.23	NFRC	Bug Screen

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 CA Building Energy Efficiency Standards - 2022 Residential Compliance  
 Report Version: 2022.0.000  
 Schema Version: rev 20220901  
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD  
Project Name: Residential Building  
Calculation Date/Time: 2023-05-01T15:05:44-07:00  
Input File Name: 1BedA.rbd22x

OVERHANGS AND FINIS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Acimwth	Width (ft)	Height (ft)	Mult.	Area (ft <sup>2</sup> )	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
sliding door	Window	Front Wall	Front	0	5	6.67	0	33.02	0.3	NFRC	0.23	NFRC	Bug Screen
Window D	Window	Left Wall	Left	90	6	2	1	12	0.3	NFRC	0.23	NFRC	Bug Screen
French Door	Window	Left Wall	Left	90	6	6.67	1	40.03	0.3	NFRC	0.23	NFRC	Bug Screen
Window B	Window	Rear Wall	Back	180	2	3	1	6	0.3	NFRC	0.23	NFRC	Bug Screen
Window A 2	Window	Right Wall	Right	270	6	4	1	24	0.3	NFRC	0.23	NFRC	Bug Screen
Window B 2	Window	Right Wall	Right	270	6	4	0	6	0.3	NFRC	0.23	NFRC	Bug Screen
Window C	Window	Right Wall	Right	270	3	2	1	6	0.3	NFRC	0.23	NFRC	Bug Screen

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	None / None	0.068	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: All Other Siding
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-35	None / None	0.031	Roofing: 10 PSF (Roof/Tie/AirGap) Tie Gap: present Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-35 / 2x12 Inside Finish: Gypsum Board

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SPACE CONDITIONING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System 1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

HVAC - HEAT PUMPS

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 47	Cap 17	Efficiency Type	EER / SEER / CEER	Zonally Controlled	Compressor Type	HERS Verification	
Heat Pump System 1	VCRH-ductless	1	HSPF2	10	24000	22800	EEER2SEER2	16	13	Zonally Controlled	Single Speed	Heat Pump System 1-HeatPump

HVAC HEAT PUMPS - HERS VERIFICATION

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/SEER	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-HeatPump	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION

01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCRH System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing (amp; Pressure Drop Rating)	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RA3.3 and SC3.3.4.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

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OVERHANGS AND FINIS

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Window	Overhang			Left Fin			Right Fin						
	Depth	Dist Up	Left Extent	Right Extent	Flap Ht.	Depth	Top Up	Dist L	Bot Up	Depth	Top Up	Dist R	Bot Up
Window A 2	2	0.1	12	12	0	0	0	0	0	0	0	0	0
Window B 2	2	0.1	12	12	0	0	0	0	0	0	0	0	0
Window C	2	0.1	12	12	0	0	0	0	0	0	0	0	0

SLAB FLOORS

01	02	03	04	05	06	07	08
Name	Zone	Area (ft <sup>2</sup> )	Perimeter (ft)	Edge Insul. R-value and Depth	R-value and Depth	Carpeted Fraction	Heated
Slab	1Bedroom - A	499	102	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	None / None	0.068	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: All Other Siding
R-38 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R-35	None / None	0.031	Roofing: 10 PSF (Roof/Tie/AirGap) Tie Gap: present Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-35 / 2x12 Inside Finish: Gypsum Board

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INDOOR AIR QUALITY (IAQ) FANS

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficiency (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - BRE	Includes Fault Indicated Display?	HERS Verification	Status
Sfam IAQVentRpt	30	0.35	Exhaust	No	n/a	n/a	Yes	

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BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

WATER HEATING SYSTEMS

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	RheemPKPH40TZR13750	1Bedroom - A	Outside	Outside

WATER HEATING - HERS VERIFICATION

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT  
I, certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Yvonne St Pierre  
Signature Date: 2023-05-17 09:34:24  
Address: PO Box 230165, Encinitas, CA 92023  
Phone: 619-292-8807

RESPONSIBLE PERSON'S DECLARATION STATEMENT  
I certify the following under penalty of perjury under the laws of the State of California:  
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.  
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.  
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Yvonne St Pierre  
Signature Date: 2023-05-17 09:34:24  
Address: PO Box 230165, Encinitas, CA 92023  
Phone: 619-292-8807

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



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2022 Single-Family Residential Mandatory Requirements Summary

- 1103.01: Pilot Lights. Continuous burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooling appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 100 Btu per hour), and pool gas heaters.
- 1103.01.1: Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Sizing, Applications, Volume, and Fundamentals Volume, the SMACNA Residential Comfort System Installation Standards Manual or the ACCA Manual, using design conditions specified in 1103.01.2.
- 1103.01.2: Clearances. Air conditioners and heat pumps without condensing coils must have a clearance of at least 6 inches from the outside of any duct.
- 1103.01.3: Liquid Line Sizing. Air conditioners and heat pumps systems must be equipped with liquid line filter driers as required, as specified by the manufacturer's instructions.
- 1103.01.4: Water Piping. Solar Water-Heating System Piping and Space Conditioning System Line Installation. All domestic hot water piping must be installed as specified in 409.11 of the California Plumbing Code.
- 1103.01.5: Insulation Protection. Piping insulation must be protected from damage, including but not limited to sunlight, moisture, equipment maintenance, and wind as required by 1103.30. Insulation exposed to weather must be wind-resistant and protected from UV light by adhesive tapes, insulation covering, chafe wear strips, and self-healing factors (using localized outside the conditioned space) must include or be protected by a Class I or Class II vapor barrier. Pipe insulation buried under grade must be installed in a waterproof and non-combustible casing or sleeve.
- 1103.01.6: Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to provide individual dwelling units must designate a space at least 2.5 x 2.5 x 7 feet for the basic installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between the designated space and the water heater location, and a condensate drain no more than 2 feet higher than the base of the water heater.
- 1103.01.7: Solar Water-Heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials (IAPMO) or Testing (IAPMO ETL), or by a listing agency that is approved by the respective director.
- 1103.01.8: Ducts and Fans. Ducts. Insulation installed on an existing space-conditioning duct must comply with 1104.4 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
- 1103.01.9: HVAC Compliance. All air-conditioning system ducts and registers must meet CMC 11.001, 11.002, 11.003, 11.004, 11.005, 11.006, 11.007, 11.008, 11.009, 11.010, 11.011, 11.012, 11.013, 11.014, 11.015, 11.016, 11.017, 11.018, 11.019, 11.020, 11.021, 11.022, 11.023, 11.024, 11.025, 11.026, 11.027, 11.028, 11.029, 11.030, 11.031, 11.032, 11.033, 11.034, 11.035, 11.036, 11.037, 11.038, 11.039, 11.040, 11.041, 11.042, 11.043, 11.044, 11.045, 11.046, 11.047, 11.048, 11.049, 11.050, 11.051, 11.052, 11.053, 11.054, 11.055, 11.056, 11.057, 11.058, 11.059, 11.060, 11.061, 11.062, 11.063, 11.064, 11.065, 11.066, 11.067, 11.068, 11.069, 11.070, 11.071, 11.072, 11.073, 11.074, 11.075, 11.076, 11.077, 11.078, 11.079, 11.080, 11.081, 11.082, 11.083, 11.084, 11.085, 11.086, 11.087, 11.088, 11.089, 11.090, 11.091, 11.092, 11.093, 11.094, 11.095, 11.096, 11.097, 11.098, 11.099, 11.100, 11.101, 11.102, 11.103, 11.104, 11.105, 11.106, 11.107, 11.108, 11.109, 11.110, 11.111, 11.112, 11.113, 11.114, 11.115, 11.116, 11.117, 11.118, 11.119, 11.120, 11.121, 11.122, 11.123, 11.124, 11.125, 11.126, 11.127, 11.128, 11.129, 11.130, 11.131, 11.132, 11.133, 11.134, 11.135, 11.136, 11.137, 11.138, 11.139, 11.140, 11.141, 11.142, 11.143, 11.144, 11.145, 11.146, 11.147, 11.148, 11.149, 11.150, 11.151, 11.152, 11.153, 11.154, 11.155, 11.156, 11.157, 11.158, 11.159, 11.160, 11.161, 11.162, 11.163, 11.164, 11.165, 11.166, 11.167, 11.168, 11.169, 11.170, 11.171, 11.172, 11.173, 11.174, 11.175, 11.176, 11.177, 11.178, 11.179, 11.180, 11.181, 11.182, 11.183, 11.184, 11.185, 11.186, 11.187, 11.188, 11.189, 11.190, 11.191, 11.192, 11.193, 11.194, 11.195, 11.196, 11.197, 11.198, 11.199, 11.200, 11.201, 11.202, 11.203, 11.204, 11.205, 11.206, 11.207, 11.208, 11.209, 11.210, 11.211, 11.212, 11.213, 11.214, 11.215, 11.216, 11.217, 11.218, 11.219, 11.220, 11.221, 11.222, 11.223, 11.224, 11.225, 11.226, 11.227, 11.228, 11.229, 11.230, 11.231, 11.232, 11.233, 11.234, 11.235, 11.236, 11.237, 11.238, 11.239, 11.240, 11.241, 11.242, 11.243, 11.244, 11.245, 11.246, 11.247, 11.248, 11.249, 11.250, 11.251, 11.252, 11.253, 11.254, 11.255, 11.256, 11.257, 11.258, 11.259, 11.260, 11.261, 11.262, 11.263, 11.264, 11.265, 11.266, 11.267, 11.268, 11.269, 11.270, 11.271, 11.272, 11.273, 11.274, 11.275, 11.276, 11.277, 11.278, 11.279, 11.280, 11.281, 11.282, 11.283, 11.284, 11.285, 11.286, 11.287, 11.288, 11.289, 11.290, 11.291, 11.292, 11.293, 11.294, 11.295, 11.296, 11.297, 11.298, 11.299, 11.300, 11.301, 11.302, 11.303, 11.304, 11.305, 11.306, 11.307, 11.308, 11.309, 11.310, 11.311, 11.312, 11.313, 11.314, 11.315, 11.316, 11.317, 11.318, 11.319, 11.320, 11.321, 11.322, 11.323, 11.324, 11.325, 11.326, 11.327, 11.328, 11.329, 11.330, 11.331, 11.332, 11.333, 11.334, 11.335, 11.336, 11.337, 11.338, 11.339, 11.340, 11.341, 11.342, 11.343, 11.344, 11.345, 11.346, 11.347, 11.348, 11.349, 11.350, 11.351, 11.352, 11.353, 11.354, 11.355, 11.356, 11.357, 11.358, 11.359, 11.360, 11.361, 11.362, 11.363, 11.364, 11.365, 11.366, 11.367, 11.368, 11.369, 11.370, 11.371, 11.372, 11.373, 11.374, 11.375, 11.376, 11.377, 11.378, 11.379, 11.380, 11.381, 11.382, 11.383, 11.384, 11.385, 11.386, 11.387, 11.388, 11.389, 11.390, 11.391, 11.392, 11.393, 11.394, 11.395, 11.396, 11.397, 11.398, 11.399, 11.400, 11.401, 11.402, 11.403, 11.404, 11.405, 11.406, 11.407, 11.408, 11.409, 11.410, 11.411, 11.412, 11.413, 11.414, 11.415, 11.416, 11.417, 11.418, 11.419, 11.420, 11.421, 11.422, 11.423, 11.424, 11.425, 11.426, 11.427, 11.428, 11.429, 11.430, 11.431, 11.432, 11.433, 11.434, 11.435, 11.436, 11.437, 11.438, 11.439, 11.440, 11.441, 11.442, 11.443, 11.444, 11.445, 11.446, 11.447, 11.448, 11.449, 11.450, 11.451, 11.452, 11.453, 11.454, 11.455, 11.456, 11.457, 11.458, 11.459, 11.460, 11.461, 11.462, 11.463, 11.464, 11.465, 11.466, 11.467, 11.468, 11.469, 11.470, 11.471, 11.472, 11.473, 11.474, 11.475, 11.476, 11.477, 11.478, 11.479, 11.480, 11.481, 11.482, 11.483, 11.484, 11.485, 11.486, 11.487, 11.488, 11.489, 11.490, 11.491, 11.492, 11.493, 11.494, 11.495, 11.496, 11.497, 11.498, 11.499, 11.500, 11.501, 11.502, 11.503, 11.504, 11.505, 11.506, 11.507, 11.508, 11.509, 11.510, 11.511, 11.512, 11.513, 11.514, 11.515, 11.516, 11.517, 11.518, 11.519, 1



**2022 Single-Family Residential Mandatory Requirements Summary**

§ 150.0A1(C)	<b>Recessed luminaires.</b> Recessed luminaires must contain lenses that comply with Reference Joint Appendix JA6.7
§ 150.0A1(D)	<b>Light Sources in Enclosed or Recessed Luminaires.</b> Lamps and other separate light sources that are not compliant with the JAB enclosed luminaire requirements, including marking requirements, shall not be installed in enclosed or recessed luminaires.
§ 150.0A1(E)	<b>Light Sources in Drawers, Cabinets, and Linen Closets.</b> Light sources integral to drawers, cabinets or linen closets are not required to comply with Table 150.0A1(a) but are controlled by existing sensors provided that they are not contained in more than a single of power, and no more than 100 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0A1(F)	<b>Interior Switches and Controls.</b> All forward phase cut dimmers used with LED light sources must comply with NEMA SS6, 7A.
§ 150.0A1(G)	<b>Interior Switches and Controls.</b> Exhaust fans must be controlled separately from lighting systems.
§ 150.0A1(H)	<b>Accessories Controls.</b> Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off.
§ 150.0A1(I)	<b>Multiple Controls.</b> Controls must not trigger a dimmer, occupancy sensor or vacancy sensor function if a dimmer or sensor is installed to comply with § 150.0(I).
§ 150.0A1(J)	<b>Mandatory Requirements.</b> Lighting controls must comply with the applicable requirements of § 110.3.
§ 150.0A1(K)	<b>Energy Management Control Systems.</b> An energy management control system (EMCS) may be used to comply with dimming, occupancy or control requirements if it provides the functionality of the specified control per § 110.3 and the physical controls specified in § 150.0A1(H).
§ 150.0A1(L)	<b>Automatic Shut-off Controls.</b> In bedrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic shut-off functionality. Lighting inside drawers and cabinets with interior switches or dimmers must have controls that turn the light off when the drawer or door is closed.
§ 150.0A1(M)	<b>Dimmer Controls.</b> Dimmer controls shall be located in the primary, utility, laundry and secondary must have readily accessible wall-mounted controls that allow the lighting to be manually adjusted up and down. Primary phase cut dimmers controlling LED light sources in these spaces must comply with NEMA SS6, 7A.
§ 150.0A1(N)	<b>Independent controls.</b> Independent lighting of individual levels shall be controlled independently from floor, lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.
§ 150.0A1(O)	<b>Residential Outdoor Lighting.</b> For single-family residential buildings, outdoor lighting permanently mounted to residential building or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch or control of an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.
§ 150.0A1(P)	<b>Internally Illuminated Address Signs.</b> Internally illuminated address signs must comply with § 102 or captions to more than 3" width of sign.
§ 150.0A1(Q)	<b>Residential Garage for Light or Motor Vehicles.</b> Lighting for residential parking garages to light motor vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.6, 130.6, 130.8, 140.6, and 141.0.
<b>Other Requirements</b>	
§ 110.10A(1)	<b>Single-Family Residences.</b> Single-family residences located in subdivisions with 10 or more single-family residences and where the applicant for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(a)(4).
§ 110.10B(1A)	<b>Minimum Solar Zone Area.</b> The solar zone must have a minimum total area as described below. The solar zone must comply with access, airflow, ample ventilation, and spacing requirements as specified in Title 24, Part 13 or other parts of Title 24 or in any requirements imposed by a local jurisdiction. The solar zone total area must be comprised of areas that are no more than six feet high and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 100 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet.
§ 110.10B(2)	<b>Asimuth.</b> All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
§ 110.10B(3A)	<b>Shading.</b> The solar zone must not contain any obstructions, including but not limited to vents, chimneys, architectural features, and roof-mounted equipment.
§ 110.10B(3B)	<b>Shading.</b> Any obstructions existing on the roof or other part of the building that projects above a solar zone that is located shall have the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone measured to the solar zone.
§ 110.10B(4)	<b>Structural Design Loads on Construction Documents.</b> For areas of the roof designated as a solar zone, the structural design loads for roof dead load and live load must be clearly indicated on the construction documents.
§ 110.10B(5)	<b>Interconnection Pathways.</b> The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service and the single-family residences and central water-heating systems, a pathway reserved for routing of ductwork from the solar zone to the water-heating system.
§ 110.10B(6)	<b>Interconnection.</b> If any of the construction documents is a computer-processed drawing, the information from § 110.10(b)(5) must be provided to the occupant.
§ 110.10B(7)	<b>Main Electrical Service Panel.</b> The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10B(8)	<b>Main Electrical Service Panel.</b> The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."
<b>Electric and Energy Storage Ready</b>	

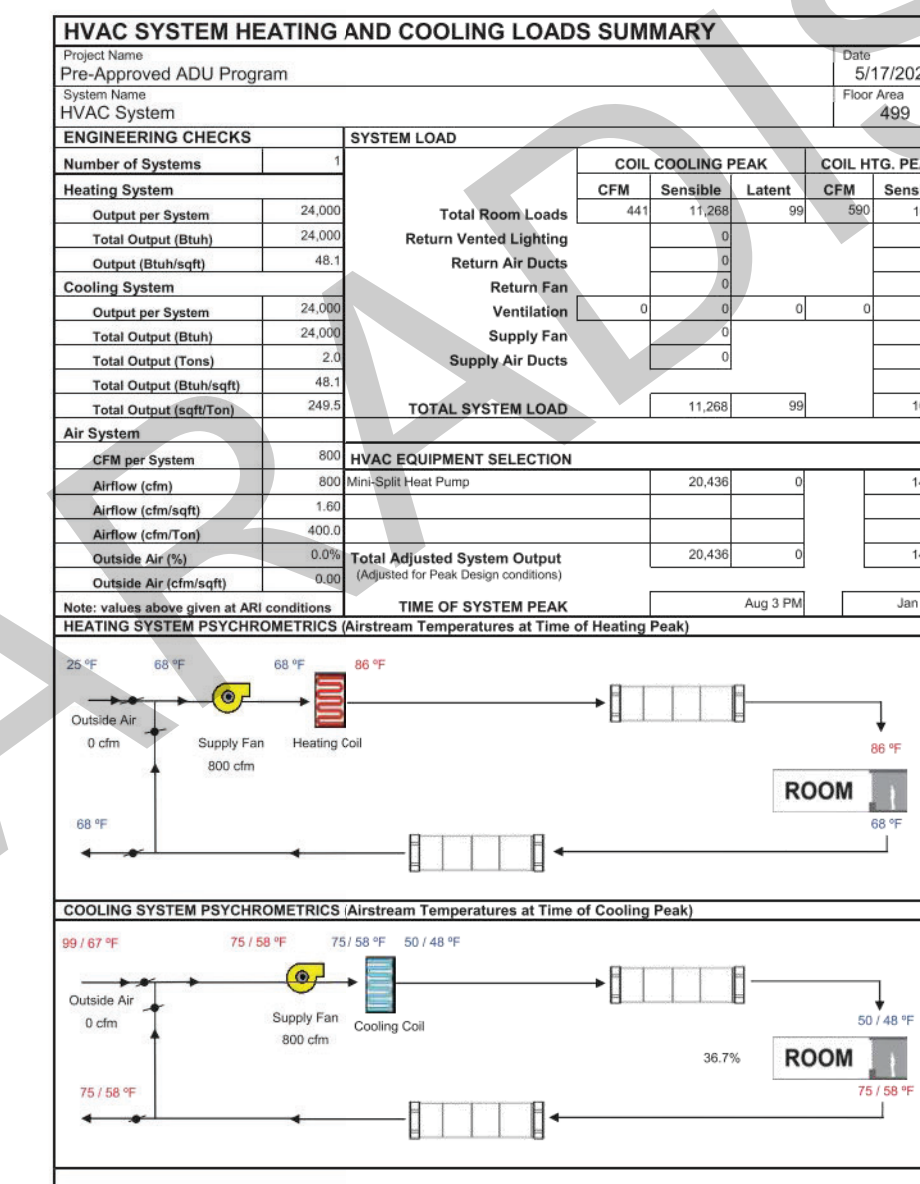
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**2022 Single-Family Residential Mandatory Requirements Summary**

§ 150.0(I)	<b>Energy Storage System (ESS) Ready.</b> All single-family residences must meet all of the following. Either ESS-ready microinverter equipment with limited up capacity (10 amps or more and four or more ESS-rated branch circuits), or a dedicated meter from the main service to a subpanel that supplies the branch circuits in § 150.0(I), at least four branch circuits must be identified and have their source collected at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary vent, and one circuit supplying a sleeping room recessed outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system enclosure equipment under each within 3' of the main panelboard, with pathways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(J)	<b>Main Panelboard Ready.</b> Systems using gas or propane furnaces to serve individual dwelling units must include a dedicated undercabinet 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(K)	<b>Electric Cooking Ready.</b> Systems using gas or propane furnaces to serve individual dwelling units must include a dedicated undercabinet 240V branch circuit wiring installed within 3' of the cooking with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."
§ 150.0(L)	<b>Electric Clothes Dryer Ready.</b> Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include a dedicated undercabinet 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

\*Exceptions may apply.

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project  
 Town of Paradise  
 Pre-Approved  
 ADU Program

revisions

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description

Energy  
 Calculations  
 1 Bedroom A

date ## Month 20##

project no. 20##\_xxxxxx

drawn by xxx/xxx

sheet no. T24.3